

<b>Title</b>	<b>Planning Applications</b>
<b>To:</b>	<b>Planning Control Committee</b>
<b>On:</b>	<b>20 January 2015</b>
<b>By:</b>	<b>Development Manager</b>
<b>Status:</b>	<b>For Publication</b>

### **Executive Summary**

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

### **This report has the following implications**

**Township Forum/ Ward:** Identified in each case.

**Policy:** Identified in each case.

**Resources:** Not generally applicable.

**Equality Act 2010:** All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:  
The elimination of discrimination, harassment and victimisation;  
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;  
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

**Human Rights:** All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

## **Development Manager**

### **Background Documents**

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

**01**      **Township Forum - Ward:** Ramsbottom and Tottington - Ramsbottom      **App No.**    58104

**Location:**            Land To The Rear Of The Grants Arms, Market Place, Ramsbottom, Bury, BL0 9AJ

**Proposal:**            Erection of 24 (Cat C) flats for retirement housing for the elderly, communal facilities, landscaping and car parking

**Recommendation:** Minded to Approve      **Site Visit:**            Y

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**02**      **Township Forum - Ward:** Prestwich - Sedgley      **App No.**    58105

**Location:**            Site of former Claremont Home, Park View Road, Prestwich, Manchester, M25 1FA

**Proposal:**            Erection of extra care accommodation for the elderly (Class C2 Use—Residential Institutions) (62 units in total) landscaping and car parking.

**Recommendation:** Approve with Conditions      **Site Visit:**            N

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**03**      **Township Forum - Ward:** North Manor      **App No.**    58133

**Location:**            Windacre Works, Mather Road, Bury, BL9 6RB

**Proposal:**            Outline application for demolition of the existing buildings and redevelopment of the site for residential development including means of access (All other Matters Reserved)

**Recommendation:** Approve with Conditions      **Site Visit:**            N

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**04**      **Township Forum - Ward:** Ramsbottom and Tottington - Ramsbottom      **App No.**    58146

**Location:**            Higher Tops Barn, Moor Road, Ramsbottom, Bury, BL8 4NU

**Proposal:**            Erection of agricultural Store and yard, entrance onto Moor Road

**Recommendation:** Approve with Conditions      **Site Visit:**            N

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**05**      **Township Forum - Ward:** Whitefield + Unsworth - Unsworth      **App No.**    58184

**Location:**            Mercedes Benz, 845 Manchester Road, Bury, BL9 9TP

**Proposal:**            Erection of 17 no. column mounted lights and 4 no. wall mounted lights in the dealership car park/display area, 27 no. wall mounted lights on the roof-top car park and provision of a low level wall and railings along the Manchester Road site frontage

**Recommendation:** Approve with Conditions      **Site Visit:**            N

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**06**      **Township Forum - Ward:** Whitefield + Unsworth - Unsworth      **App No.**      58252

**Location:**                      51 Heathfield Road, Bury, BL9 8HB

**Proposal:**                      Single storey extension at side

**Recommendation:** Approve with Conditions

**Site Visit:**                      N

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**Ward:** Ramsbottom and Tottington -  
Ramsbottom

Item 01

**Applicant:** Astim Ltd

**Location:** Land To The Rear Of The Grants Arms, Market Place, Ramsbottom, Bury, BL0 9AJ

**Proposal:** Erection of 24 (Cat C) flats for retirement housing for the elderly, communal facilities, landscaping and car parking

**Application Ref:** 58104/Full

**Target Date:** 11/02/2015

**Recommendation:** Minded to Approve

**It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for Loss of Protected Recreation Provision in accordance with Policy RT1/1 of the adopted Unitary Development Plan, recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and SPD1. Should the agreement not be signed and completed within a reasonable period, it is requested that the application be determined by the Development Manager.**

**The Development Manager has recommended a site visit be carried out prior to the Planning Committee meeting.**

### **Description**

The site relates to a vacant piece of land which was formally used as a bowling green. It is designated as Protected Recreation Provision under UDP Policy RT1/1 and set within the Ramsbottom Town Centre Conservation Area. To the north are residential properties on Pinner's Close, to the east, the land slopes steeply away from the site leading to an access track which runs along the rear of properties on Oxhey Close. To the west is a public car park and directly adjacent to the south is the Civic Hall, with the Grants Arms, a Grade II Listed Building to the south west. The site is set in an elevated position in relation to the town centre and accessed via a steep cobbled road which leads from Market Place.

The piece of land itself gradually rises from the south to north to a slight banking and timber fence to the side elevation of No 24 Pinner's Close, and slopes from the car park down to the rear access track to the east. There are a few trees around the perimeter although the majority have previously been removed. The site has since become overgrown and derelict.

The application seeks the erection of 24 self contained flats (11x2 bed and 13x1 bed) for the over 55's with associated car park and landscaping. For clarification, the proposed scheme has been amended from 28 units to 24 units.

The building would be located to the north of the Civic Hall and to the east of the public car park. The footprint of the building would be set back within the site and orientated with the main entrance and parking provision facing the public car park.

The building would be 3 storey in height with a single storey element on the most northerly end of the building. Elevations would feature juliette style balconies to the front and rear and a projected front entrance slightly off-set to the north, incorporating a glazed canopy. Materials would comprise coursed stone walls to the majority of the frontage with an Ashlar buff stone to the entrance section. It would be predominantly rendered at the rear with the middle section in random stone. The roof would be pitched with grey slate tiles.

The flats would be self contained, with a communal laundry, residents lounge and bin store

area.

Within the grounds, there would be soft and hard landscaping, seating areas and amenity space and tree/shrub planting.

The entrance would be directly from the existing car park into the development site with parking for 13 cars (including 2 disabled spaces). A pedestrian footpath would continue from the Civic Hall to link through into the southern area of the site. The external bin store would be located adjacent to the southern boundary.

### **Relevant Planning History**

56225 - Erection of 34 (Cat C) flats for retirement housing for the elderly, communal facilities, landscaping and car parking - Withdrawn by Applicant 12/07/2013

57271 - Erection of 28 (Cat C) flats for retirement housing for the elderly, communal facilities, landscaping and car parking (resubmission) - Withdrawn by Applicant 01/05/2014

### **Publicity**

131 letters sent on 31/10/2014 to properties in the immediate area and other addresses further afield who were unsolicited objectors to the previous application.

Site notice posted 10/12/2014.

Press advert in the Bury Times on 6/11/2014.

As a result of the publicity, 52 objections received. A full list of addresses is available on the public file.

The issues raised are as follows:

- This is the third time of having to object to an application twice withdrawn because of adverse publicity,
- A thriving bowling green was closed because the builder has other plans;
- Trees have been cut down without permission and the site left in a disgraceful state;
- Hard to understand why an application from a business with such a record is being considered;
- Increase in traffic which is already grid locked;
- There are already retirement flats being built on Bolton Road West and soon in Holcombe Brook;
- Additional traffic and parking to the immediate area;
- Visitor parking to Ramsbottom will be affected and be detrimental to the visitors and businesses in the area as the adjacent car park is the main parking area for Ramsbottom, which could not survive a reduction in public parking;
- With a negative impact on parking, many of the commercial units would ultimately be vacant;
- Access to the flats for 'elderly' and ambulant disabled would be restrictive, via a steep ascent, or a longer access through Pinners Close;
- In the Winter months access would be even more treacherous, with slippery steep paths - surely this should be considered;
- A great deal of money and effort has been put into making the Civic Hall an amenity for the town but people would not want to use as a venue and be overlooked by flats;
- The Civic Hall would come under pressure from any development;
- A ploy to get permission for sale to a general age group as the applicant know full well the elderly will not be interested;
- Not true to say the bowling green was underused - the increase in costs caused the club to fold;
- Description should read being the Civic Hall, not the Grants Arms;
- The former bowling green is in the Ramsbottom Conservation Area and specially protected as a green open space within the town centre itself; the site should be returned to its original use or similar green area;
- The proposed building would jeopardise the further economic development of the centre of Ramsbottom itself;

- As recognised in the NPPF, Conservation Areas should contain buildings of special architectural or historic interest and enhance areas which this scheme does not;
- The proposal would dwarf the existing buildings, Listed Buildings and is of no particular architectural merit;
- A historic survey of the land should be undertaken to understand its significance within the history of Ramsbottom;
- The development would remove a piece of Green Urban Space which is a valuable commodity to Ramsbottom;

Five petitions received with 37, 71, 15 and 35, 15 signatures respectively with the following issues raised:

- The proposed development would cause an increase in traffic on the narrow, steep, stunted access road which is shared with other users, and dangerous for pedestrians;
- Additional traffic would increase congestion;
- Civic Hall is the only large community venue in Ramsbottom, a thriving business which would come under pressure from development;
- The Hall and garden would be overshadowed by the proposed large building, dominate smaller scale buildings including historic and listed buildings;
- The development site is designated as open space;
- The land is in the Conservation Area where development should be an enhancement. The design takes no account of the special features and character of the conservation area;
- Oppressive building to the residents of Pinners Close;
- Noise and disturbance to residents of Pinners Close;
- Dangerous for pedestrians walking from Market Place to Pinners Close.

Objection received from a Planning Consultant on behalf of No 6 Oxhey Close which raises the following issues:

- Impact on residential amenity - The floor levels and ground levels at the rear of No 6 are 2m lower than the application site, with the distance from the rear elevation to the back of the bowling green being 19m. The proposal would result in 3 storey development 22m from the rear elevation of No 6 with overall height of 12m. Proximity would be overbearing as the dwelling is single storey at the rear, and dominate rear outlook and garden, affect habitable room windows, detrimental impact on the sunlight and daylight provision. Therefore contrary to H2/1.
- Loss of community facility/open space - No concrete justification for the loss of the bowling green and no alternative provision indicated, therefore contrary to RT1/1. Loss of an open valuable space would be contrary to TC1/1;
- Impact on the character of the area/Conservation Area - Development would have an impact on the setting of Heritage Assets. No Heritage Statement has been submitted to assess the significance of the Conservation Area and links between the bowling green and neighbouring Grants Arms (Grade II Listed Building). The proposal would enclose the square/car park and dominate the streetscene in this location. The design would have features incongruous in the street scene and detrimental to the character of the conservation area. Design appearance, scale and massing would have a detrimental impact on the townscape in the immediate vicinity. Contrary to section 12 of the NPPF and UDP policies EN1/1, EN1/2, EN2/1, EN2/2 and EN2/3;
- Other issues - There is a water course underneath the application site and periods of rain discharge onto the gravel path between Oxhey Close and the site. Without appropriate survey and diversion, any foundations and hardening areas will have a detrimental effect on the watercourse and exacerbate the drainage problem and the watercourse creating additional problems to neighbouring occupiers. Given the gradients of the site and gravel path there will be the potential to affect run off into Ramsbottom. Potential to also create highways hazards at time of high rainfall.

Objection received from the Friends of Nuttall Park with the following issues:

- Loss of green open space in Ramsbottom which are few;
- Loss of a sporting opportunity which contributes to the health and welfare of people

Objection received from Councillor Bevan which raises the following issues:

- Recent controversy when the trees were felled on site, following which successful action was taken by Bury MBC;
- The land is Protected Recreational Ground and the heart of the Conservation Area;
- Policy OL3 in the Bury Urban Development Plan provides that this type of land requires protection from development and is not regarded as being a reservoir for development. It was a valuable piece of recreational ground until the owners forced the bowling club out due to excessive rent and charges;
- The government attaches great weight to OL3, once built on open space likely to be lost forever;
- Whilst some of the materials would be stone, the majority (render, upvc, entrance) would be unsuitable in the Conservation Area;
- Only 13 spaces despite a 28 bed flat development;
- Access is via a steep incline, difficult for both vehicles and pedestrians and unsuitable for elderly;
- Situated in the town centre adjacent to a lively pub and Civic Hall which undertakes regular evening entertainment. Doubt whether the site would be suitable for retirement flats given potential for noise and loss of amenity. Can envisage complaints;
- If permission granted despite objections, trust it is ensured the owners pay compensation to local residents for loss of this important recreational ground by way of a S106.

Objection received from Ramsbottom Heritage Society summarised as follows:

- The scheme is totally at variance with the Ramsbottom Conservation Area Management plan which seeks to ensure proposals protect and enhance the character and appearance of the area, which this fails to do;
- The scheme should be more sympathetically designed to blend in with the neighbouring buildings;
- It does not protect the historic bowling green and designated as Protected Recreation Provision under policy RT1/1 should be retained;
- Far from being in decline, the bowling club has been forced to close;
- The whole development in terms of design, choice of materials, location, poor pedestrian access, lack of parking is deeply flawed and future impact on activities of the civic hall could be devastating;
- Materials and design are completely contrary to the conservation management plan;
- Inappropriate location for the elderly being situated on top of a steep hill;

Objection received from Friends of Ramsbottom Civic Hall (FORCH) summarised as follows:

- The land is designated as Protected Recreation Ground, used as such for 150 years, is within the Conservation Area and near to Listed Buildings. The Council and LPA have a duty to preserve as such;
- The land owners have failed to communicate with FORCH to discuss the use of the land and future of the bowling green;
- Mature trees felled illegally on the site and the owners fined at court;
- Detrimental impact on the Civic Hall - Functions would be directly alongside the development, the gardens at the rear overshadowed, light significantly reduced, increase in traffic creating significant dangers and access problems, use of the outside of the hall inhibited, impact on proposed plans to improve access to the upper floor of the hall and means of escape;
- Business events, festivals etc would be inhibited by the development;
- Significant increase in traffic;
- Represents a monolithic addition to the building stock of Ramsbottom, out of scale to the surroundings and in a highly prominent and visible position;
- Pressure on local services significantly increased;
- Significantly over-ambitious scheme;
- Access to the site for the elderly inadequate and totally unsuitable;



- Applicant has personal profit as prime objective;
- No effort to involve local people.

The objectors have been informed of the Planning Control Committee meeting.

### **Consultations**

**Greater Manchester Police - designforsecurity** - No comments received.

**Greater Manchester Ecology Unit** - No objection subject to conditions to provide a detailed landscaping scheme and tree protection measures.

**United Utilities (Water and Waste)** - No response received. A condition has been recommended by the LPA's Drainage Section.

**Traffic Section** - No objection subject to conditions.

**Drainage Section** - No objection subject to condition.

**Environmental Health Contaminated Land** - No objection subject to conditions.

**Waste Management** - No objection.

### **Unitary Development Plan and Policies**

EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
TC1/1	Open Space in Town Centres
RT1/1	Protection of Recreation Provision in the Urban Area
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN9	Landscape
SPD16	Design and Layout of New Development in Bury
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
EN8/2	Woodland and Tree Planting
SPD1	Open Space, Sport and Recreation Provision
EN5/1	New Development and Flood Risk
SPD6	Supplementary Planning Document 6: Alterations & Extensions
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Policies** - Following revocation of the North West Regional Spatial Strategy on 20 May 2013, there is no statutory housing target for Bury. Work is continuing on Bury's Local Plan, which will bring forward a new statutory housing target.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

UDP Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

EN2/1 - Character of Conservation Areas and EN2/2 - Conservation Area Control seek to preserve or enhance the character and appearance of these areas. Development will only be acceptable if it preserves or enhances these areas with regard to the nature of the development in terms of bulk, height, materials, design, relationship to the surrounding area, and impact of a new use on the character of the surrounding area. Proposals where appropriate should seek to implement measures to retain, replace, restore features of architectural interest, retain and enhance landscaping features, promote environmental enhancement and promote design guidelines to ensure sympathetic development.

EN2/3 - Listed Buildings seeks to actively safeguard the character and setting of Listed Buildings by not permitting works, alterations or changes of use which would have a detrimental effect on their historical or architectural character and features.

RT1/1 - Protection of Recreation Provision in the Urban Area states that development would not be allowed where it would result in the loss of existing and proposed outdoor public/private recreation areas, recreation space within settlements located in the Green Belt, indoor facilities for which there is a recreational need or any other unidentified recreation provision created within the Plan.

Exceptions to this may be permitted through the redevelopment of part of the site, if alternative provision is made available or it can be demonstrated there is an excess of recreation/open space in the area. The policy also recognises that some recreation sites may genuinely become redundant, and rather leaving them derelict, permit a change to an alternative use if there is no prospect of the site being required for recreation use, either now or in the future. The Council has accepted the loss of such sites in the past where a contribution has been paid to compensate for the loss of recreation provision.

#### **Issues -**

**Loss of sports/recreation facility** - The application relates to a site which is designated as Protected Recreation Provision under UDP Policy RT1/1 and the NPPF makes reference to recreation land and open spaces in Chapter 8 - Promoting healthy communities. The principle of residential development is considered not to be acceptable, unless:

- alternative provision of equivalent community benefit is made available;
- the development is for alternative sports and recreation provision, the needs for which clearly outweigh the loss; or
- an assessment has been undertaken which has clearly shown the land to be surplus to requirements.

The site has remained vacant and in the 2006 Greenspace Strategy Audit was scored as 'poor'. There have been no further proposals which have come forward to redevelop it for recreational purposes. It has since become derelict, overgrown and disused.

However, the site remains designated as Protected Recreation Provision to which Policy

RT1/1 applies. In this particular case, whilst the site in its current state has scored poorly and there are no plans to return it to recreation use, it nevertheless has the potential to do so. There is a shortfall of recreation provision in the Borough overall and in this particular part of the Borough for outdoor sport. Therefore, the loss of this site, with its potential to be returned to a functional recreation use, can only be considered acceptable for redevelopment subject to the applicant making an appropriate contribution to compensate for the loss of the recreation site.

This has been calculated at £67,031.25 and is based on the Sport England's model and costs and then applied to the size of the bowling green which is recorded at 0.12 hectares in the 2010 Greenspace Strategy.

The applicant has agreed to this contribution which would be secured by way of a S106 Agreement.

**Residential development** - The site is in a town centre location and as such in a sustainable location, being within walking distance of the shopping area, on a main bus route and served by existing infrastructure. The application relates to the provision of retirement housing and would support the aims of providing this type of accommodation in the Borough.

As such, the principle is in general accordance with national and regional planning policy, would help to meet local housing targets and therefore complies with the NPPF and UDP Policy H1/2 - Further Housing Development.

The layout, Conservation considerations, design and appearance, and car parking and access issues will be assessed in the report below.

**Conservation considerations** - The site is set within the Ramsbottom Conservation Area and also close to the Grants Arms, a Grade II Listed Building.

Planning (Listed Building and Conservation Areas) Act 1990 (as amended), Chapter 12 - Conserving and enhancing the historic environment of the NPPF and UDP Policies EN2/1, EN2/2 and EN2/3 seeks to consider the relationships of proposed development to the architectural and visual qualities of the surrounding area, with the emphasis on preserving and enhancing these areas and safeguarding the setting of Listed Buildings. The Ramsbottom Conservation Area Appraisal and Management Plan (November 2011) describes Market Place as the focus of the conservation area, and at the crossroads as the historic centre of Ramsbottom.

The proposed building would be 3 storeys in height, which would be similar to the height, scale and massing of the adjacent Civic Hall and Grade II Listed Grants Arms opposite. It would be positioned to the north of the Civic Hall and set back within the site, with the front elevation in line with the rear elevation of the Hall. The set back is such that the building would not 'compete' with the street scene or be at odds with the outlook from, or light to, any of the windows in the side of the Civic Hall. It would neither conflict with the position or stature of the Listed Grants Arms and is considered to sit well within the context of the street scene.

The traditional character of the Conservation Area would be preserved through the use of a simple palette of materials. This would comprise predominantly stonework to the frontage, a mix of render and stonework at the rear, and render to the 2 side elevations. The roof would be pitched and tiled. As the building would be set back into the site and also from the front elevation of the Civic Hall, the axonometric projection shows that view of the sides of the building, and the rear for that matter, would not be visible when approached from Market Place. The public face of the development would maintain stonework, and as such this would be fitting and proper within the setting of the conservation area and is considered to preserve and enhance the environment. For the avoidance of doubt, a condition to submit samples of materials prior to commencement of any development would be a

condition of a permission if granted.

The building would be of a traditional form and appropriate in design and scale with acceptable details and materials. In terms of the Conservation Area, it is considered the scheme would respect the character and special interests of Ramsbottom.

There has been no Heritage Statement submitted with the application but the conservation issues have been considered in the Design and Access Statement.

As such, it is considered that the size, height and position of the proposed building would preserve and enhance the Conservation Area and would comply with UDP Policies EN2/1, EN2/2 and EN2/3.

**Design and appearance** - The building's mass would be broken up with elevational design features including a projecting entrance facade, Juliette balconies incorporating some full height windows, and stone quoins. Windows would be casement in design, and have a 2 paned glazing appearance in a narrow aluminium framing, with detailing of lintels, jambs and cills in natural stone to match that of the surrounding area. To promote conservation design, a condition would ensure all windows would have a minimum reveal of 75mm.

The entrance would be defined by a lightweight glazed canopy located just off centre on the front elevation. It would only be publically viewed 'face-on' from the public car park in front and as such, the position of the proposed entrance is considered not to result in a peculiar or unbalanced appearance to the fenestration of the front facade.

As such, the design and appearance of the building is considered to be in keeping with the character and visual quality of the surrounding conservation area, and would reflect the architectural character and fabric of the nearby Listed Building and the Conservation Area. It is considered to preserve and enhance the character of the conservation area and would comply with UDP Policies EN1/2, EN2/1 and EN2/2.

**Layout** - The building would either be approached by foot from Pinners Close to the north or Market Place to the south by vehicle. The plot of land is rectangular in shape and the proposed building would utilise the space by siting the building to run lengthways from north to south, fronting the public car park, with the main entrance defined just off centre by a lightweight glazed canopy. There would be access in the form of a footpath and gardens around the perimeter of the building with designated seating areas and gardens to provide outdoor amenity areas. The bin store would be located to the south of the site and enclosed with an open fronted access, details of its design and appearance would be sought by a condition. Thirteen parking spaces would be located to the front of the site and a block paved pathway would define a pedestrian route through to the building.

Boundary treatment would comprise close boarded timber fencing and mature tree and shrubbery planting through the provision of a landscaping plan, which would be secured by way of a planning condition to ensure appropriate replacements for those previously lost on the site.

Internally, the scheme would provide 11x2 bed and 13x1 bed, with 2 guest rooms provided for visitors on the 1st and 2nd floors. A communal residents lounge, laundry room and refuse collection point would be located on the ground floor of the building.

The layout of the scheme would provide circulation space around the building, together with accessible external amenity and parking areas. It is considered the siting of the building would relate well to the surrounding environment without compromising the amenities of the occupiers of nearby properties, and as such would comply with UDP Policies H1/2, H2/1 and H2/2.

**Impact upon residential properties** - There is no policy guidance on aspect standards for this type of development. However, Supplementary Planning Document 6 does provide

guidance on separation distances and is a useful yardstick for the consideration of new residential development in relation to existing dwellings. Generally, a separation of 20m is required between facing habitable room windows of 2 properties, with an additional 3m of separation required for each additional storey.

Pinners Close - The difference in levels in the land to the north of the site results in the building being the same height as No 24 Pinners Close, the adjacent residential property to the north. There would be a distance of 7.5m between the proposed single storey element of the new build, and the side elevation of No 24. There are no habitable windows in the side elevation of either property which would be affected.

It is also proposed to provide an outdoor amenity area on the roof of the single storey element of the new build. The difference in levels between No 24 and the site is such that the roof terrace would be on the same level as the garden of No 24 and accordingly there would be no greater impact on the privacy of this property than the relationship between 2 level adjacent gardens.

There is an existing boundary fence along the side of No 24 and the application proposes additional intervening planting along this boundary. As such, it is considered there would be minimal impact in terms of any overlooking or privacy issues to this property.

There would be no direct relationship between the proposed building and No 22 Pinners Close.

Oxhey Close - There would be a separation distance of 23m from the rear elevation of No 6 Oxhey Close to the east of the site and the proposed building. SPD6 advocates a 20m separation between facing habitable room windows plus 3m per additional storey. No 6 Oxhey is set at a lower level than the site.

Because of the topography of the site and the significantly elevated position of the proposed building in comparison to No 6 Oxhey, there would be no direct overlooking from habitable room windows of the new build to the rear windows of No 6 Oxhey. Views would be over the top of this property and as such there would be less of an impact on the privacy of No 6, compared to a directly facing window to window relationship. This is a common place relationship between properties in Ramsbottom given the topography of the area.

There is an existing access track which runs along the rear boundary of No 6. Additional tree planting is proposed to the rear boundary of the site (imposed as a landscaping condition with the emphasis on the planting of mature trees), which together with a boundary fence, would further minimise any potential overlooking into this property or the garden.

Given these intervening features, and the separation distance, the position of the proposed building in relation to this property is considered to be acceptable and would be in compliance with the aspect standards of SPD6.

As such, the proposal is considered to comply with UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development and SPD6.

**Access and parking** - Vehicular access would be directly from the Grants Arms public car park, located in a central position in relation to the site and the building. This would lead into a parking area and the main entrance to the building. The scale and character of the scheme is such that it would not generate significant levels of traffic and as such would not interfere with the movements in and around the existing Grants Arms car park.

Pedestrian access would be via a newly created footpath which would continue the existing footpath in front of the Civic Hall and link into the site along the southern boundary. This would lead to the main entrance to the building.

SPD11 - Parking Standards in Bury does not have a specific category for this type of accommodation, falling neither within a purely residential or sheltered housing scheme. It is proposed to provide 13 spaces for the 24 flats and these would be laid out and demarcated to the front of the site.

The proposed development is similar to other schemes which have been carried out in the Borough, where the expectations for parking provision would be lower, given it would be directed towards the older age group where it is accepted that residents of this type of accommodation are less likely to be car owners.

The site is within a town centre location with excellent links to public transport. The close proximity to shops and services would also provide for the day to day needs of residents and as such largely preclude the need for a car.

The Highways Section raise no objection to the application and has recommended conditions that relate to the provision and layout of the parking area and works to the site access and pedestrian footpath.

As such, the proposal is considered to be acceptable and comply with UDP Policy H2/2 - The layout of New Residential Development.

**Access/Location** - Objectors have raised concerns that the development would not be accessible for future occupiers, and particularly the elderly.

There is a public car park, public house and Civic Hall all located at the top of the access road to the site. Users of all ages utilise these facilities and are not prejudiced by the gradient. Much in the same way, any future occupants would be aware of the local topography, and were the site not suitably accessible for them, would either choose not to live there or otherwise accept the local conditions.

The site is in a highly sustainable location and subject to appropriate responses to the UDP allocation of protecting the recreation provision, is a site that would be suitable for, amongst other things, the proposed development and its intended use.

As such, the proposal is considered to be acceptable and in compliance with UDP Policies H1/2 - Further Housing Development and H2/2 - The Layout of New Residential Development.

**Ecology** - GMEU have been consulted on the application and identify that the main ecological interest on the site were the mature trees, many of which have now been felled. Whilst it is the intention to retain the existing trees on the periphery of the site and a landscaping scheme has been submitted to show replacement planting, the scheme suggests all trees would be non-native and only of medium stature. This would not be in keeping with the previous landscape of the site or the woodland to the north.

GMEU have suggested that proposed trees 6 and 7 be replaced by feature tree species such as small leaved lime or beech and other replacements should be of a similar native species, and would be satisfied that details could be sought by a condition.

As such, it is considered reasonable to include a condition which would require the applicant to submit a landscape management plan, detailing the number, size and species of trees, for approval prior to the commencement of any development, and implemented within 12 months from the completion of the development (see Condition 6).

An informative has been suggested by GMEU with regard to Japanese knotweed and measures which should be taken if found on the site.

**Servicing and bin store area** - The bin store would be sited in an area to the south of the site. The waste management team already service this part of the town centre, picking up from the Grants Arms and the Civic Hall. The bins would be wheeled out to the back edge of pavement adjacent to the Civic Hall, similar to the existing arrangement, and the waste management team have raised no objection to the proposals.

**Contributions -**

Loss of Protected Recreation Provision - As stated above, the development would result in the loss of Protected Recreation Provision as defined in RT1/1. The applicant has agreed to a one-off payment of £67,031.25 to compensate for the loss and this would be secured through a S106 Agreement.

Recreation Provision - For new Residential Development under SPD1, the scale of the proposals requires a recreation contribution of £40,647.94, which the applicant has agreed to and will be secured through a S106 Agreement.

Concern has been raised that the development would not be guaranteed as retirement accommodation, and could be sold on the open market to any age group. That being the case, a higher standard of parking may also be required as the character of the development would change. To ensure the future occupancy of the development, the S106 Agreement would include an appropriate provision to ensure the units would only be available to occupiers 55 years or older. The accommodation also proposes 2 rooms for visitors of the occupants to stay, but this would be for short term and limited periods and need not be included in the contribution requirements.

**Response to objectors** - Objections raised to the proposed development have been covered in the above report.

**Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

**Recommendation:** Minded to Approve

**Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Location plan dwg 01; Proposed site plan (inc landscaping and grassed are) dwg 500K; Proposed site plan landscaping scheme dwg 50L; Proposed elevations dwg 500H; Proposed floor plans 200H; Proposed axono-metric elevation dwg 600; Canopy detail received 6/1/15; Topographical survey QDS/350/453/TOP Revision O; Existing cross sections dwg 250; Design and Access Statement October 2014; Walkover Survey and Desk Study No 5730 May 2013 and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. No development shall commence unless and until:-
  - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
  - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
  - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Following the provisions of Condition 3 of this planning permission, where ground gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
6. A landscaping scheme, to include both hard and soft landscaping and car park surfacing finish, shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. The content of the plan should include details of replacement trees including number, species and size, which should be long lived native species. The approved plan only shall be implemented in the first available planting season and not later than 12 months from completion of the development; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.



7. The development hereby approved shall not commence unless and until a scheme of protection for all trees to be retained on site in accordance with BS 5837:2005 "Trees in Relation to Construction" (or subsequently amended), including details of the protection of the root systems of the existing trees, has been submitted to and agreed in writing by the Local Planning Authority. The development shall not commence unless and until the measures required by that scheme have been implemented, to the written satisfaction of the Local Planning Authority and all measures required by the scheme shall continue until the development has been completed.  
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
8. No trees shall be removed between 1st March and 31st August inclusive in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and has verified the absence of occupied bird nests in writing, supplied to and agreed by the Local Planning Authority.  
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
9. All windows in the development hereby approved shall be fitted within a minimum reveal of 75mm.  
Reason. In the interests of good design pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EN2/1 - Character of Conservation Areas and EN2/2 - Conservation Area Control.
10. Details/Samples of the materials, (stone, render and roof slate) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.  
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
11. No development shall commence unless and until details of the design, materials, location and access arrangements there to, of the bin store hereby approved, have been submitted for approval to the Local Planning Authority. The approved details only shall be implemented and the bin store made available for use prior to the first occupation of the development hereby approved and thereafter maintained.  
Reason. In the interests of visual amenity pursuant to Bury Unitary development plan Policy EN1/2 - Townscape and Built Design and EN2/2 - Conservation Area Control.
12. The development hereby approved shall not be commenced unless and until full details of the proposed pedestrian access arrangements indicated indicatively on the approved plans have been submitted to and approved in writing by the Local Planning Authority. The details subsequently approved shall be implemented prior to the development hereby approved being brought into use/first occupied.

Reason. To ensure good highway design in the interests of pedestrian safety pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development and HT6/2 - Pedestrian/Vehicular Conflict.

13. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the development hereby approved being brought into use/first occupied and thereafter maintained at all times.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development and H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

14. The Developer, within one week of the commencement of development, shall ensure that there is provision to be made for the parking on site of operatives' and construction vehicles together with storage on site of construction materials. The provision shall be retained and used for the intended purpose for the duration of the construction period and that area shall not be used for any other purposes other than the parking of vehicles and storage of construction materials respectively.

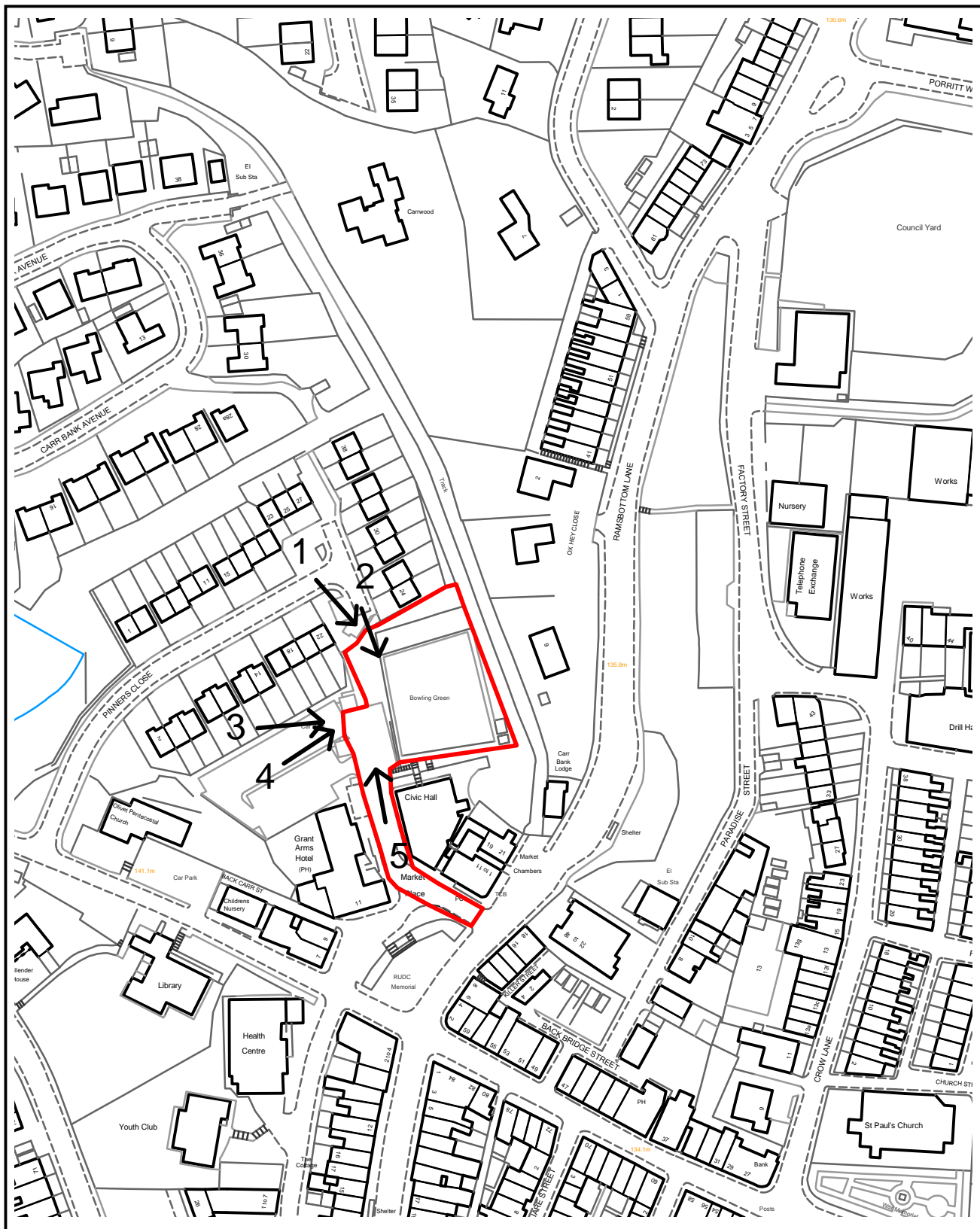
Reason. To ensure adequate off street car parking provision and material storage arrangements for the duration of the construction period, in the interests of road safety pursuant to Bury Unitary Development Plan Policy HT4 - New Development.

15. No development shall commence unless and until details of surface water drainage aspects have been submitted to and approved by the Local planning Authority. This must include an assessment of potential SuDS options for surface water drainage with appropriate calculations to support the chosen solution. The approved scheme only shall be implemented in accordance with the approved details and thereafter maintained.

Reason. In order to meet the requirements of Chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the National Planning Policy Framework.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 58104**

**ADDRESS: Land to the Rear Of The Grant Arms  
Market Place  
Ramsbottom**

**Planning, Environmental and Regulatory Services 1:1250**

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**Bury**  
COUNCIL

Photo 1



Photo 2



Photo 3

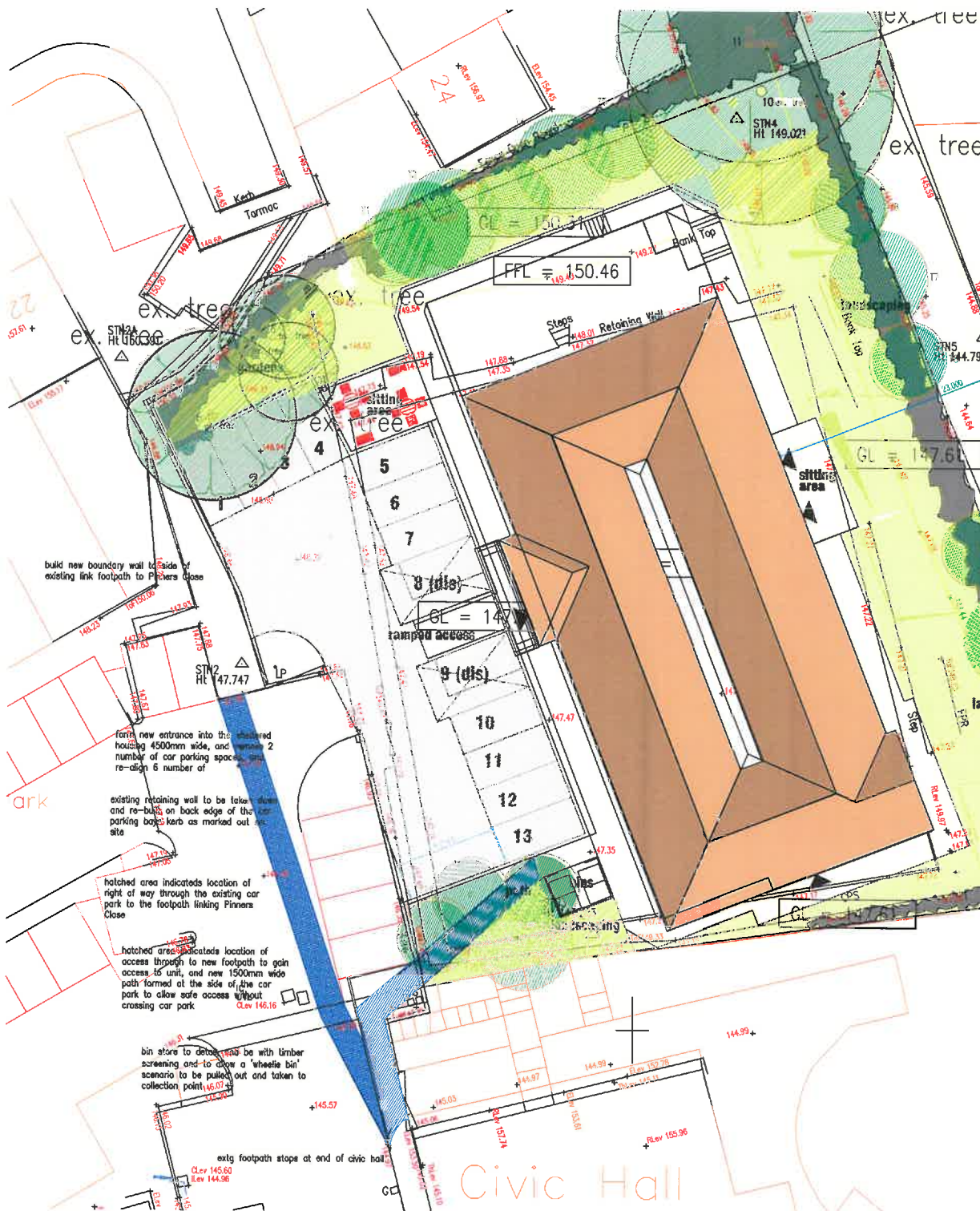


Photo 4



Photo 5





build new boundary wall to side of existing link footpath to Pinners Close

Trees

Nr	Plant Name	Form	Age	Girth	Ht/Spread	Clear Stem	Root	Cntr/Bkcs	N/Sq. M
5	Whitebeam serbus	Instant			5-7m high	175-200	150L		T1,5,6,9,12
5	Betula Utilis Jacquemanti				5-7m high	175-200	150L		T2,4,7,10,13
3	Betula albosinensis	Instant			5-7m high	175-200	150L		T3,8,11,14,15

Shrubs

Nr	Plant Name	Form	Age	Girth	Ht/Spread	Clear Stem	Root	Cntr/Bkcs	N/Sq. M
120	Cornus Alba	3-5m high			40-60		C	2L 3	2.00
300	Coemothus Aatural	Bluem high			30-40(D)		C	2L 3	3.00
400	Hebe Autumn Glory	0.6-0.8m			30-40		C	3L 7	4.00
400	Hebe rakoiensis	0.6-0.8m high			20-30		C	3L 5	4.00
360	Vibernum tinus	1.5-2.5m high			30-40		C	3L 4	3.00

low growing shrubs (not exceeding height of 800mm)

tall growing shrubs (height of 1500mm and over)

LANDSCAPING SCHEME ONLY

GL = 147.48 = existing levels  
GL = 147.61 = proposed levels

135.8m

Carr  
Bank  
Lodge

1.18.12.14 building envelope to suit revised layout as per meeting on 15.12.14 with planner  
K.04.12.14 building relocated and pedestrian access amended and dim to No G  
2.05.04.14 building relocated and pedestrian access amended to suit Pinners comments  
10.04.14  
11.10.05.14 pedestrian access amended, and Gm site relocated to rear of cars  
G.11.02.14 canopy amended to front entrance  
F.05.02.14 Mixed development added to suit revised floor plan layout  
E.03.03.13 Landscaping and trees added, plans amended  
D.03.07.12 Scale altered  
C.11.02.12 11 jobs repositioned on site  
B.13.03.12 Pines amended to Park  
A.05.02.12 Pines + 2 revised existing plots 7+12 amended to 2 blocks of 3 terrace  
10.02.12

Mr S.R. Brown,  
Archie Ltd,  
The Grand Area Hotel,  
Barnstaple

PROPOSED DEVELOPMENT AT LAND OFF  
BARNSTAPLE PLACE, BARNSTAPLE  
(Partial development)

PROPOSED SITE PLAN  
(SINGLE LANDSCAPING AND GRASSING AREA)

Issued by: S.R.B. 11  
Drawing No: 10.1

1/2500 04.08.14

build new boundary wall to side of existing link footpath to Pinners Close

form new entrance into the sheltered housing 4500mm wide, and provide 2 number of car parking spaces, and re-align 6 number of

existing retaining wall to be taken down and re-built on back edge of the car parking bays, kerb as marked out on site

hatched area indicates location of right of way through the existing car park to the footpath linking Pinners Close

hatched area indicates location of access through to new footpath to gain access to unit, and new 1500mm wide path formed at the side of the car park to allow safe access without crossing car park

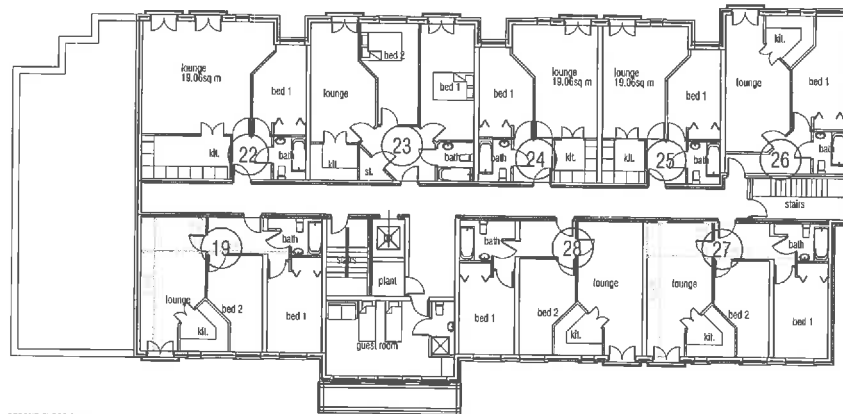
bin store to detour road to be with timber screening and to show a 'wheeled bin' scenario to be pulled out and taken to collection point

extg footpath stops at end of civic hall

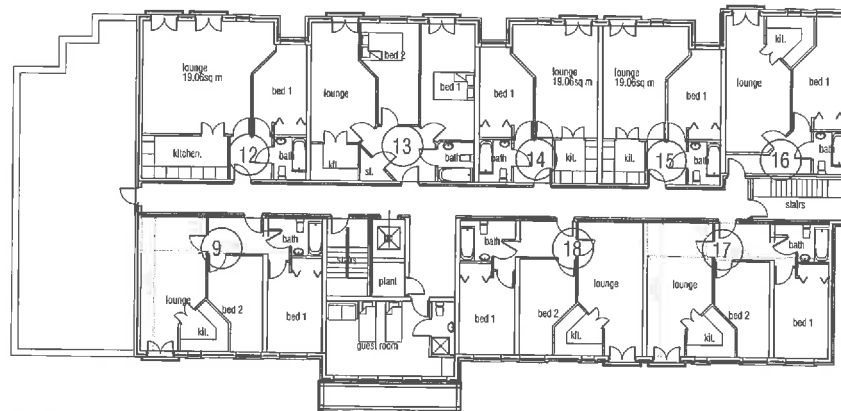
Civic Hall





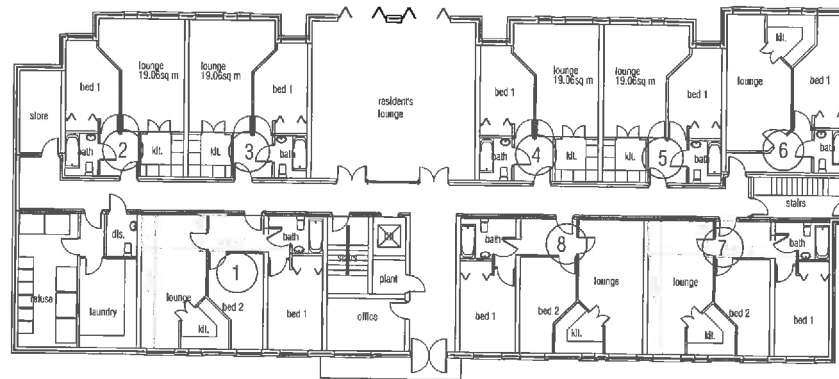


SECOND FLOOR PLAN



FIRST FLOOR PLAN

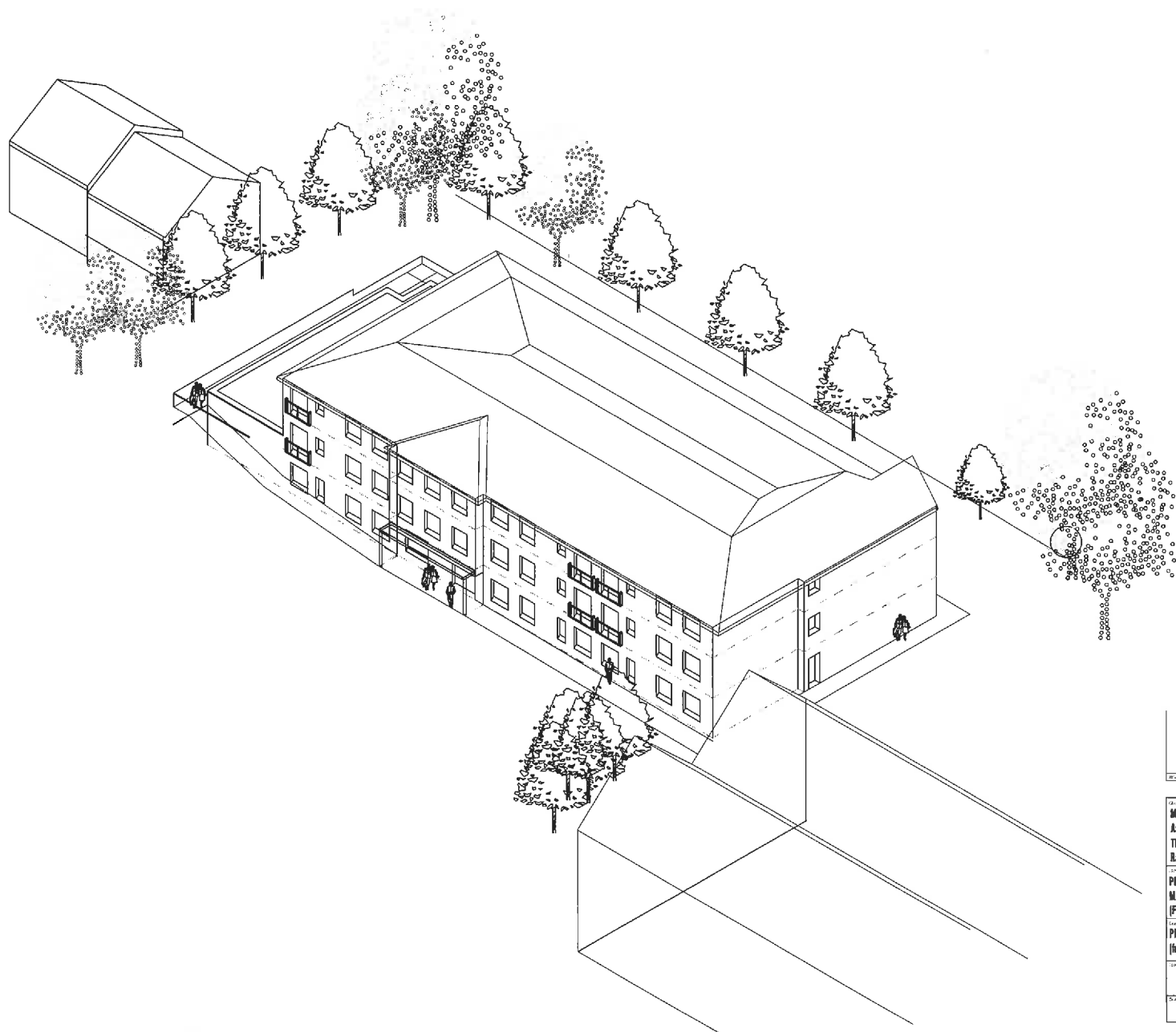
FLATS	GF	1 bed	2 bed
	5	3	
	4	4	
	4	4	
<b>TOTAL UNITS</b>	<b>13</b>	<b>11</b>	
<b>OVERALL TOTAL UNITS = 24</b>			



GROUND FLOOR PLAN

- H.06.01.15 access added to flat roof area from first floor gates
- G.16.02.14 fire numbers 10, 11, 20 and 21, 22, 23, 24, 25 and 26 added back
- F.20.11.14 4 flats omitted from first floor and roof section amended
- E.11.02.14 Juliette balconies added and doors and entrance canopy
- D.16.01.14 projections amended generally and rooflines amended to suit planners comments
- C.14.11.13 projections amended generally to suit signifier conditions of 23, 24, 25
- G.02.09.13 windows omitted from Laundry + office
- A.02.07.13 Scheme revised to 28 units

Mr B.M.Barnes, Architect, The Grand Arms Hotel, Lansdown	
PROPOSED DEVELOPMENT AT LAMB OFF HAWKET PLACE, BANGORBTOWN (Partial development)	
PROPOSED FLOOR PLANS	
Drawing No 2.0.0.0	
1/12/2010	11.05.12



Mr D.H.Barrow, Aston Ltd, The Great Arms Hotel, Ramsgate	
PROPOSED DEVELOPMENT AT LAND OFF MARKET PLACE, RAMSGATE (Flat development)	
PROPOSED AXONOMETRIC ELEVATION (from Market Place)	
Drawing No 6 0 0	
Date 1/200th	Date 18.12.14

**Ward:** Prestwich - Sedgley

**Item** 02

**Applicant:** McCarthy & Stone Retirement Lifestyles Ltd

**Location:** Site of former Claremont Home, Park View Road, Prestwich, Manchester, M25 1FA

**Proposal:** Erection of extra care accommodation for the elderly (Class C2 Use—Residential Institutions) (62 units in total) landscaping and car parking.

**Application Ref:** 58105/Full

**Target Date:** 28/01/2015

**Recommendation:** Approve with Conditions

### **Description**

The 0.65ha cleared site is situated at the junction of Bury New Road and Park View Road. It was formerly occupied by Claremont Elderly Persons Home that has been demolished. The site is characterised by a number of large mature trees on the perimeter of the site and the site has a tree preservation order. The surroundings include St Mary's Park immediately to the north and residential development to the south across Park View Road and across Bury New Road to the west where the land is included in the St Mary's Park Conservation Area.

Planning permission (40304 & 41469) was granted to build a 6 storey residential block of 58 apartments (48 apartments and 10 penthouses) with a basement car park. The existing building was demolished and some trees cleared but no further works were carried out. The proposed development was amended to include duplex apartments on the third and fourth floors and this reduced the number of apartments to 52 in total (43846). An extension of time application (52395) for the apartment block was approved in July 2010.

Planning permission was granted in October 2011 for the erection of a four storey building to contain 62 extra care residential units and providing 29 parking spaces.

The proposed development involves the erection of a four storey building to provide 62 extra care units. The proposed building would be constructed from red and cream brick, artstone, grey timber cladding and white render with a grey concrete tile roof. 11 trees would be removed from the site, with 4 being located on the perimeter. The site would be accessed from Park View Road, which would lead to a car park of 38 spaces.

### **Relevant Planning History**

40304 - Outline - residential development at former Claremont Elderly Persons Home, Bury New Road, Prestwich. Approved with conditions - 26 March 2003.

41469 - Reserved matters - erection of block of 48 apartments and 8 penthouses with associated basement parking at former Claremont Elderly Persons Home, Bury New Road, Prestwich. Approved with conditions - 5 July 2004.

42905 - Addition of 2 roof mounted penthouses to proposed block of 48 apartments and 8 penthouses at Former Claremont Elderly Persons Home, Bury New Road, Prestwich. Approved with conditions - 17 January 2005.

43846 - Residential development - construction of residential block of 36 apartments, 14 duplex (two storey) apartments and 2 roof mounted penthouses at site of former Claremont Elderly Persons Home, Bury New Road, Prestwich. Approved with conditions - 12 May 2005.

52395 - Extend the time limit for implementation of planning permission 43846 for

residential development - block of 36 apartments, 14 duplex (2 storey) apartments and 2 roof mounted penthouses at site of the former Claremont Elderly Persons Home, Bury New Road, Prestwich. Approved with conditions - 7 July 2010.

54299 - Erection of extra care accommodation for the elderly (Class C2 use - residential institutions) (62 units in total) landscaping and car parking at site of former Claremont Elderly Peoples Home, Park View Road, Prestwich. Approved with conditions - 18 October 2011.

57796 - Erection of extra care and retirement living accommodation for the elderly (Class C2 Use - Residential Institutions), landscaping & car parking at site of former Claremont Elderly Peoples Home, Park View Road, Prestwich. Withdrawn - 3 September 2014.

### **Publicity**

The neighbouring properties (5 - 8 The Terrace, 1 - 11 The Mews, 1 - 11 Thorndyke Apartments, 1 - 5 (odds), 2 - 12 (evens), Sedgley Park Synagogue, Park View Primary School, Park View Road, 1 - 18 Park View Court, 15 - 18 Rectory Grove, 39 - 51 (odds), 46 Rectory Avenue, 1 - 9 Belroy Court, 1 - 15 Belvedere Court, 1 - 25 Carrigart, 1 - 16 Hornby Lodge, 1, 3 Prestwich Park Road, 171 Oakhill Court, 1 - 6 Princess Court, 5 Barnhill Road, 9 Eccleston Place, 4 Butt Hill Drive, 3 Butterstie Lane, 117 Prestwich Hills, 32 Meade Hill Road, 7 Silverdale Avenue) were notified by means of a letter on 30 October and a press notice was published in the Bury Times on 6 November. Site notices were posted on 7 November 2014.

19 letters of support have been received from the occupiers of 7 The News, 6 Belvedere Court, 188 Summerseat Lane, 2 Beechwood Court, 283 Heywood Road, 17 Sedgley Gardens, 6 Hilton Crescent, 13 Marton Grange, 20 Woodhill Grove, 7, 12 Barnhill Road, 16 Oakbank, 18 St Mary's Road, which have raised the following issues:

- The sooner it is built, the better.
- The proposed development would fulfill a need in the area.
- The proposal would be a good asset for Prestwich.
- The proposed development would get rid of an eyesore in the area and would generate revenue for the local authority.
- The proposed development would be of high quality.
- Support the proposed development.
- The proposed development would free up family homes.
- Hope to see the development commence early in the new year.
- The proposed development would offer greater independence to its residents.

9 letters have been received from the occupiers of 27 Shelley Road, 229 Ainsworth Road, 5 Cotswold Close, 131 Albert Avenue, 19 Park Avenue, 3 Heys View, Park View Primary School, which have raised the following issues:

- Would like to see a pelican or zebra crossing on Park View Road.
- There is too much traffic congestion. We should be lessening the impact, not adding more traffic.
- The location is not suitable.
- Careful consideration of the location of the entrance and exit is needed.
- The safety of children during construction is of paramount concern as well as the safety of parents at drop off and collection points.
- Any increase in vehicles along Park Road would prove chaotic.
- Safe parking along Park View Road would be compromised.
- Construction traffic would be a nuisance to local residents.
- There could be an impact upon the adjacent school car park in terms of building debris, construction materials or tree felling.
- During construction, dirt and mud could be transferred to the school and local homes.

The supporters and objectors have been notified of the Planning Control Committee meeting.

### **Consultations**

**Traffic Section** - No objections, subject to the inclusion of conditions relating to traffic calming measures, footway and access improvements, boundary walls, visibility splays, turning facilities and car parking.

**Drainage Section** - No objections, subject to the inclusion of conditions relating to drainage and SuDS.

**Environmental Health - Contaminated Land** - No comments.

**Environmental Health - Pollution Control** - Comments awaited.

**Waste Management** - Comments awaited.

**Environment Agency** - No objections, subject to the inclusion of conditions relating to contaminated land.

**Design for security** - Comments awaited.

**United Utilities** - Comments awaited.

**Electricity North West** - No objections, subject to inclusion of an informative in relation to working near electrical apparatus.

**GM Fire Service** - Comments awaited.

**Transport for Greater Manchester** - Comments awaited.

**GM Ecology Unit** - No objections, subject to the inclusion of conditions relating to nesting birds, tree protection measures, Japanese Knotweed and lighting and an informative in relation to bats.

### **Unitary Development Plan and Policies**

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H4/1	Affordable Housing
H4/2	Special Needs Housing
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN1/6	Public Art
EN6/3	Features of Ecological Value
EN7/2	Noise Pollution
EN8/2	Woodland and Tree Planting
CF1	Proposals for New and Improved Community Facilities
CF1/1	Location of New Community Facilities
CF3/1	Residential Care Homes and Nursing Homes
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
RT2/2	Recreation Provision in New Housing Development
SPD1	Open Space, Sport and Recreation Provision
SPD3	DC Policy Guidance Note 3: Planning Out Crime
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle** - Following revocation of the North West Regional Strategy on 20th May 2013, there is no statutory housing target for Bury. Work is in progress on Bury's Local Plan - 'The Core Strategy', which will bring forward a new statutory housing target. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for housing development, including the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses and other policies and proposals of the plan.

Policy H4/2 states that the Council will encourage the provision of special needs housing and it will be assessed with regard to the location of the site in relation to local shops, public transport, health facilities and community facilities; the gradient on site; car parking; amenity space and the design, layout and landscaping of the site.

The site is located within the urban area and there are residential properties to the west and south. As such, the proposed development would not conflict with the surrounding land uses. In the past, the site did contain a building, which has since been demolished and as such, the site is previously developed land. There would be adequate infrastructure available and as such, the principle of residential development is acceptable.

The site is located within walking distance of Prestwich town centre and is located adjacent to a main bus route. The gradient of the site, car parking and design/layout of the site will be assessed later in the report. Therefore, the proposed development is acceptable in principle and would be in accordance with Policies H1/2 and H4/2 of the Bury Unitary Development Plan.

**Use, affordable housing and disabled access** - The application proposals are for a Class C2 Use - Residential Institutions specifically intended for the frail and elderly, typically of over 80 years of age. The proposals are intended to operate such that the occupant's maintain as much independence as possible by providing a wide range of community facilities and care packages are bought and thus are tailored specifically for the individual concerned, on site. The occupants would enjoy the privacy of their own home whilst receiving appropriate levels of nursing care. Communal facilities would also be provided and all parts of the building would be fully wheelchair accessible. Lifts would also be able to accommodate the movement of beds in case of hospitalisation needs.

As the scheme is not a residential development under Class C3 - Residential of the Town & Country Planning (Use Classes) Order 1987, there is no requirement to provide affordable housing in line with Policy H4/1 - Affordable Housing of the Bury Unitary Development Plan. However, as the proposals are for extra care housing units are within Class C2, there is a need to impose an occupancy control by a planning condition to prevent the potential change of use to other uses falling within the same class (such as a hospital) which the site would otherwise not be capable of accommodating materially different, significant demands such as from traffic.

Private landscaped amenity space would be provided at the sides and to the front of the site and would include seating areas connected via accessible footpaths. Room layouts would be larger than 'standard' elderly accommodation to enable the provision of extra care facilities to be provided.

2 disabled parking bays would be provided within the car park, which would be acceptable. Therefore, the proposed development would be accessible for all and would be in accordance with Policy HT5/1 of the Bury Unitary Development Plan.

**Design and layout** - The proposed building would be 4 storeys in height with a pitched roof, which would match the buildings in the immediate locality. The proposed building would be constructed from red and cream brick, artstone, grey timber cladding and white render with a grey concrete tile roof. The mix of materials and the proposed balconies would add interest to the elevations. As there is no consistent design approach to the buildings in the immediate locality, the proposed development would not be unduly prominent feature within the streetscene and would be in accordance with Policies EN1/2 and CF1/1 of the Bury Unitary Development Plan.

The proposed development would supplement the existing boundary treatments with 1.5 metre high railings in conjunction with an area of dense planting as indicated on the landscape drawings. The eastern boundary would be marked by a 1.8 metre high close boarded timber fence. The frontage along the westerly boundary would retain the dense planting behind a wall and railings. A vehicle barrier has been added to the site plan and other gates added to the remaining boundaries. Natural 24/7 surveillance by the occupants, staff and CCTV should deter any nuisance by intruders. The proposed boundary treatments would not be a prominent feature within the streetscene and would be in accordance with Policies EN1/2 and CF1/1 of the Bury Unitary Development Plan.

**Amenity provision** - Policy RT2/2 states that developers of new housing for 10 or more dwellings will be expected to provide for the recreational needs of the prospective residents, by providing and laying out recreational open space within the development. For larger developments (50 or more), such provision should be provided on site, where possible in a single plot.

The proposed development includes an area of amenity space of 907 square metres surrounding the proposed building. The proposed amenity space would contain a series of paths and seating areas, which would connect to the proposed building, car park and Bury New Road. The landscaping plan indicates that there would be a substantial amount of planting and patio areas would be provided to the ground floor apartments. Therefore, the proposed development would comply with Policy RT2/2 of the adopted Unitary Development Plan and SPD1.

**Impact upon residential amenity** - There are no aspect standards for this type of development. However, SPD6 provides guidance on aspect standards between residential properties and would be relevant in this case. SPD6 states that there should be a minimum of 30 metres between directly facing habitable room windows, which is based upon a two storey building. For each additional storey in height, an additional 3 metres separation should be provided.

There would be 24.7 metres between the proposed development and the gable elevation of No. 11 The Mews, which would be in excess of the 19 metre separation distance required. There would be between 47 metres and 53 metres between the proposed development and the front elevation of Hornby Lodge, which would be in excess of the 26 metre aspect required.

The proposed development would be adjacent to a public park and car park for the nearby school. There would be between 18.5 metres and 33 metres between the proposed building and the boundary of the site. As such, the proposed development would not impact upon the privacy of the users of the park and car park respectively.

Therefore, the proposed development would not conflict with the aspect standards in SPD6 and would not have an adverse impact upon the amenity of the neighbouring properties. The proposed development would be in accordance with Policies EN1/2 and CF1/1 of the Bury Unitary Development Plan.

**Trees** - The site is subject to a Tree Preservation Order and contains 62 trees, which are mainly located on the periphery of the site. Many of the trees are mature and are located in close proximity to each other. As such, some trees are inhibiting the growth of other trees. A tree survey was submitted with the application, which indicates that 11 trees would be removed as part of the proposed development. Of the 11 trees, only 4 would be located on the perimeter of the site - 1 on the Bury New Road frontage and three would be removed to form the new access to the site on Park View Road. Given that all of the 11 trees are in poor condition, 3 trees of heavy standard will be planted within the site and that the majority of the trees on the perimeter would be retained, the proposed development would not have a significant adverse impact upon the character and appearance of the locality. Therefore, the proposal would be in accordance with Policy EN8 and EN8/2 of the Bury Unitary Development Plan.

**Bats** - A ecological survey was submitted with the application and concluded that the development site is of negligible potential for bat roosting, but is of moderate potential for foraging by bats. The submitted plans indicate that 6 bat boxes would be located within the existing trees and the proposed building to support foraging. GM Ecology Unit has no objections to the proposed development, subject to the inclusion of conditions relating to the provision of bat boxes, nesting birds, Japanese Knotweed, tree protection measures and external lighting. Therefore, the proposed development would not have an adverse impact upon a protected species and would be in accordance with Policies EN6 and EN6/3 of the Bury Unitary Development Plan and the NPPF.

**Highways issues** - The site was last used as a care home and there have been several planning permissions on the site for apartments and most recently for extra care retirement living accommodation. The submitted reports state that the proposed development would generate less traffic than the previously approved proposals. This is based upon the age of the proposed residents, who would require a degree of care and the applicant's experience of developing other sites within the UK. The Traffic Section has no objections, subject to the inclusion of conditions relating to traffic calming measures on Park View Road, access improvements, visibility splays, turning facilities and car parking. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policies CF1/1 and EN1/2 of the Bury Unitary Development Plan.

**Parking** - There is no specific parking standards for this type of development within SPD11. However, the maximum standards for sheltered housing, which is a similar use, is 1 space per 3 units. This equates to 20 spaces.

The proposed car park contains 29 spaces, which would provide 21 residents and visitor spaces and 8 staff spaces. The scheme is aimed at the elderly population who will require an increasing level of care, which means that a significant proportion of the residents of this scheme are unlikely to be car drivers as the average age is 85. It is anticipated that some of the staff will live locally or use public transport and there are bus stops in close proximity to the site. As such the proposals would not conflict with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

### **Response to objectors**

The issues of location, need and traffic generation have been addressed in the report above. The issues of construction traffic and impact upon the school during construction are not material planning considerations and cannot be taken into consideration.



## Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

### Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 0788/Topo, 1770-03-02, 1770-03-04, 1770-03-05, 1770-03-07, 1770-02-03, 1770-003, 1770-006, 1770-007, 1770-104, 1770-105, 1770-108 B, 1770-109 B, 1770-110, 1770-171 P1, 7542/01, 7542/02, 2056 01 A, 11/193/DE/100/001, TM6708 and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The premises to which this approval relates shall be used for an extra care facility (Class C2 - Residential Institutions) and for no other purpose (including any other purpose in C2 - Residential Institutions of the Schedule to the Town and Country Planning (Use Classes) Order 1987 (or in any provision equivalent to that class in any statutory instrument revoking or re-enacting that Order with or without modification).  
Reason - To safeguard the amenities of the occupiers of nearby residential accommodation and in consideration of the likely traffic flows to and from the site in relation to the extant uses in the vicinity of the site pursuant to policies CF1/3, CF1/4 and HT2/4 of the Bury Unitary Development Plan.
4. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year.  
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. The development hereby approved shall be carried out in accordance with the Japanese Knotweed Management and Validation Report, dated 12 September 2012 for the eradication of Japanese Knotweed (*Fallonia Japonica*, *Rouse Decraene*, *Polygonum Cuspidatum*).  
Reason. To ensure that the site is free from Japanese Knotweed and Himalayan Balsam in the interest of Policy EN9 - Landscape of the Bury Unitary Development Plan.
6. The development hereby approved shall not be occupied until the installation of the bat boxes on approved plans 1770-105 and 1770-007 has been implemented.  
Reason. To maintain and enhance the biodiversity value of the site pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of

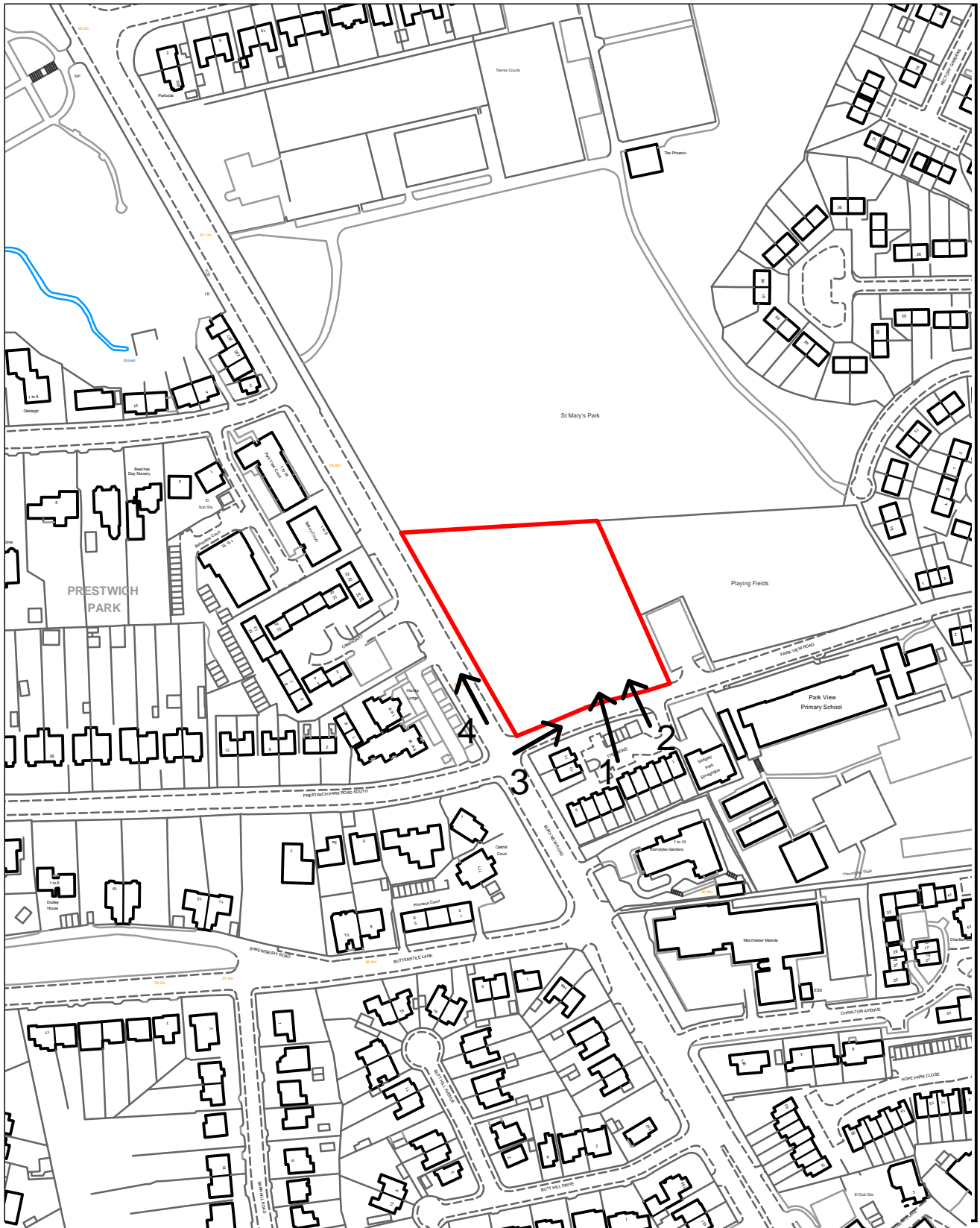
Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

7. A minimum of 5 working days written notice shall be provided to the LPA of intended commencement of the development. The notification of commencement shall include a timetabled schedule of the intended tree protection measures and tree works. Any subsequent variation of the timetable shall be subject to further written notice.  
Reason - To ensure that the development is carried out in accordance with the approved plans, to protect trees which are of amenity value on the site and pursuant to Policies EN8/1 – Tree Preservation Orders and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
8. The landscaping scheme (plan reference 2056 01 A) hereby approved shall be implemented to the written satisfaction of the Local Planning Authority not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.  
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan..
9. No trees subject to a Tree Preservation Order, unless indicated otherwise on the approved plans (2056 01 A, 1770-110, 7542/01, 7542/02) shall be felled, lopped or topped before, during or after the construction period without the previous written consent of the Local Planning Authority.  
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
10. The development hereby approved shall not commence unless and until the tree protection measures identified on approved plans (7542/01, 7542/02) have been implemented and all measures required by the scheme shall continue until the development has been completed.  
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
11. Prior to first occupation of the building, a timetable for the implementation of the scheme for traffic calming measures on Park View Road between its junctions with Bury New Road and Heywood Road on approved plan (TM6708) shall be submitted to and approved in writing by the Local Planning Authority. The traffic calming measures shall be implemented in accordance with the agreed timetable.  
Reason - To reduce the potential conflicts from vehicles, pedestrians and cyclists within the vicinity of the site access on Park View Road and to ensure good highway design in the interests of road safety pursuant to Unitary Development Plan Policies HT6/1 Pedestrian and Cyclist Movement and HT6/2 - Pedestrian/Vehicular Conflict.
12. The development hereby approved shall not be first occupied unless and until the visibility, footway and access improvements on Park View Road indicated on approved plan reference 11/193/DE/100/001 (but excluding the additional area of land required to provide a 1.8m footway) have been implemented in full.  
Reason - To ensure good highway design in the interests of road safety pursuant to Unitary Development Plan Policies HT6/1 Pedestrian and Cyclist Movement, HT6/2 - Pedestrian/Vehicular Conflict, CF1/1 - Location of New Community Facilities and CF3/1 - Residential Care Homes and Nursing Homes.

13. The visibility splays indicated on approved plan reference 1770-03-02 and 11/193/DE/100/001 shall be implemented before the development is first occupied and shall subsequently be maintained free of obstruction greater than 0.6 metres in height.  
Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to Unitary Development Plan Policies HT6/1 Pedestrian and Cyclist Movement, HT6/2 - Pedestrian/Vehicular Conflict, CF1/1 - Location of New Community Facilities and CF3/1 - Residential Care Homes and Nursing Homes.
14. The turning facilities indicated on approved plan reference 1770-003 shall be provided before the development is brought into use and shall subsequently be maintained free of obstruction at all times.  
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Unitary Development Plan Policies HT6/1 Pedestrian and Cyclist Movement, HT6/2 - Pedestrian/Vehicular Conflict, CF1/1 - Location of New Community Facilities and CF3/1 - Residential Care Homes and Nursing Homes.
15. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the development hereby approved being occupied and thereafter maintained at all times.  
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
16. The external finishing materials for the proposal hereby approved shall be:
- Edenhall - Runswick Multi Red
  - Portland - Artstone Bath
  - Redland Mini Stone Wold - Concrete Tiles Grey
  - Edenhall - Castle Cream Rustic
  - Grey Resin Based Timber Cladding
  - Neaco - Grey Glass Balconies.
- Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
17. The development hereby approved shall be carried out in accordance with drainage layout plan - 24371-REV B. The drainage works shall be available for use prior to the building hereby approved being first occupied.  
Reason - To reduce the increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal pursuant to Section 10 of the National Planning Policy Framework.
18. The building hereby approved shall be constructed to a finished floor level of 81.900 AOD.  
Reason To ensure that there would be no undue risk to protected trees and pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 58105**

**ADDRESS: Site of former Claremont Home,  
Park View Road, Prestwich**

**Planning, Environmental and Regulatory Services 1:1250**

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Photo 1



Photo 2



Photo 3



Photo 4





KEY:

-  EXISTING TREES TO BE RETAINED
-  EXISTING TREES TO BE REMOVED
-  PROPOSED TREES
-  PROPOSED BUSHES / SHRUBBERY
-  PROPOSED PAVING
-  PROPOSED WALL
-  PROPOSED DWARF WALL AND RAILINGS



ALL PROVISIONS TO BE CHECKED ON SITE  
 WORK TO PROCEED IMMEDIATELY ONLY  
 IF THIS IS A BREACH OF THE PLANNING  
 COMMITMENT ACT APPLIES



G. L. Day B.Sc., B.Arch., R.I.B.A.  
 Design Director  
 York  
 Tel: 01904 444222 Tel: 0181 927 7801



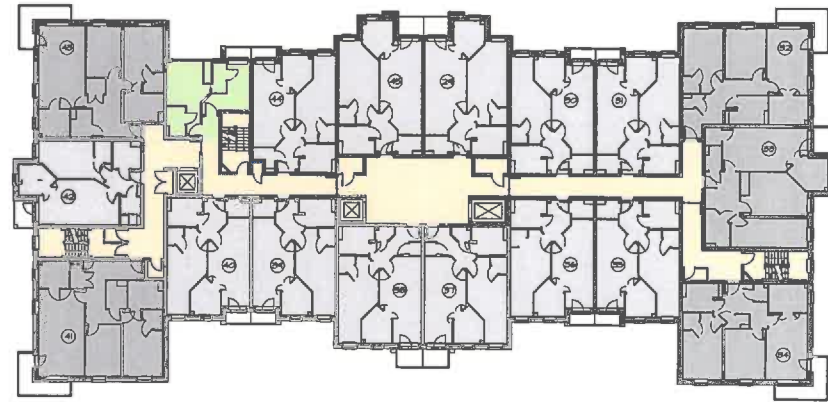
Project Title  
 Retirement Living Housing  
 Assisted Living  
 Bury New Road  
 Preswich

Drawing Title  
 Site Plan

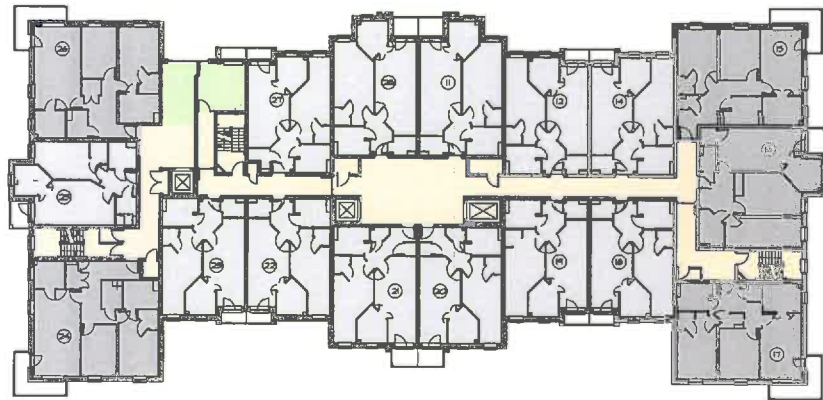
Date: 15/08/2014	Rev: 04/01/2014
Drawn by:	Checked:
1770-03-02	



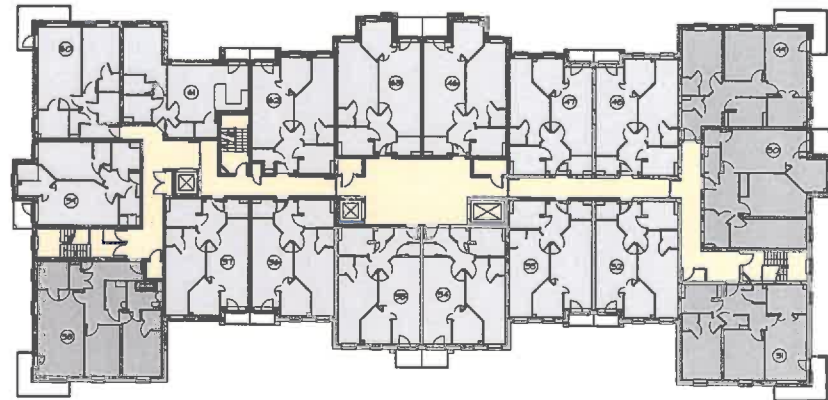
Ground Floor



Second Floor



First Floor



Third Floor



G. L. Day B.Sc., B.Arch., R.I.B.A.  
Design Director  
York Altrincham  
Tel: 01904 444 222 Tel: 0161 926 3310



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Project Title  
Retirement Living Housing  
Assisted Living  
Bury New Road  
Pratchley

Drawing Title  
Floor plans

Scale: 1:200 Date: 06/11/14  
Drawing No: TCGS/04/01/01  
1770-03-04



Schedule of Material

- 1 Edenhall - Runswick Multi Red
- 2 Portland - Artstone Beige
- 3 Redland Mini Stone Wall - Concrete Tiles Gray
- 4 Edenhall - Castle Cream Rustic
- 5 Grey Resin Based Timber Cladding
- 6 Necco - Grey Glass Balconies
- 7 K- Rend Of White Render
- 8 Windows - Upvc White
- 9 Rainwater Goods - Black
- 10 Soffits & Fascias - uPVC White
- 11 Resin based timber Cladding - Grey



East Elevation



South Elevation



West Elevation



North Elevation


  
**THE PLANNING BUREAU LIMITED**
  
 The Planner • The Builder
   
 G. L. Day B.Sc., B.Arch., R.I.B.A.
   
 Design Director
   
 York                      Albincham
   
 Tel: 01904 444 222      Tel: 0181 828 3310


  
 YOUR LIFE

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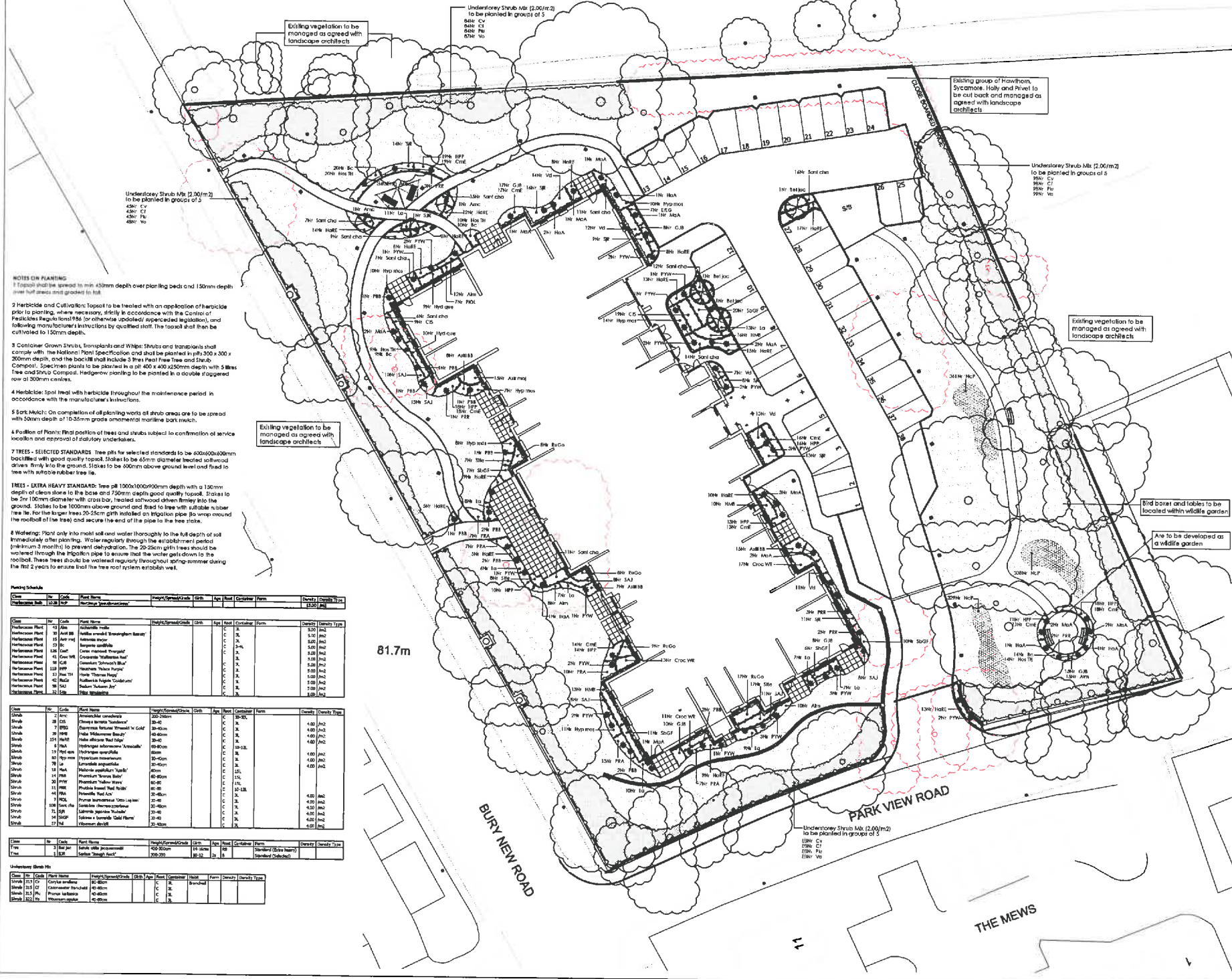
Project Title
   
 Retirement Living Housing
   
 Assisted Living
   
 Bury New Road
   
 Prestwich

Drawing Title
   
 Elevations

Scale    1:200                      Date    SEPT 2014
   
 Drawn    TGS                      Checked
   
 Drawing No.    1770-03-05                      Rev.

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- LEGEND:**
- Existing trees to be retained. For more information please refer to tree seen limited tree constraint Plan no. 7342/1
  - Existing trees to be removed. For more information please refer to tree seen limited tree constraint Plan no. 7342/1
  - Proposed Ornamental trees to be 14-12cm girth, Extra Heavy Standards, to be set in soft landscaping and secured with underground guys
  - Proposed tree line to be 10-12cm girth, Soft, Red Standards, to be set in soft landscaping and secured with underground guys
  - Proposed Street/Manicure Planting to be planted in 3-7.5m poles, with height to be specified in 1:50 scale
  - Proposed Climbers to be 3m poles
  - Proposed Understorey Shrubs to be planted at 2 plant per sq m in groups of 5
  - Proposed Bush Planting to be planted at 15 plant per sq m
  - Proposed Ornamental Hedges to be planted at 4 plants per sq m
  - Area to be avoided



**NOTES ON PLANTING**

1 Topsoil shall be spread to min 40mm depth over planting beds and 150mm depth over half areas and grassed to suit.

2 Herbicide and Cultivation: Topsoil to be treated with an application of herbicide prior to planting, where necessary, in accordance with the Control of Pesticides Regulations 1986 (or otherwise updated/ superseded legislation), and following manufacturer's instructions by qualified staff. The topsoil shall then be cultivated to 150mm depth.

3 Container Grown Shrubs, Transplants and White Shrubs and Transplants shall comply with the National Plant Specification and shall be planted in pH 300 x 300 x 200mm depth, and the bottom shall include 3 trees root free tree and shrub Compost. Specimen plants to be planted in a pH 400 x 400 x 200mm depth with 5 trees free and shrub Compost. Hedge planting to be planted in a double staggered row at 500mm centres.

4 Herbicide: Spot treat with herbicide throughout the maintenance period in accordance with the manufacturer's instructions.

5 Bark Muck: On completion of all planting works all shrub areas are to be spread with 20mm depth of 100% fibre grade ornamental maritime bark muck.

6 Position of Plants: Final position of trees and shrubs subject to confirmation of service location and approval of statutory authorities.

7 TREES - SELECTED STANDARDS: Tree pits to selected standards to be 400x600x200mm backfilled with good quality topsoil. Stakes to be 40mm diameter treated softwood driven firmly into the ground. Stakes to be 1000mm above ground and fixed to tree with suitable rubber free tie. For the larger trees 50-25cm girth installed an irrigation pipe to be wrapped around the rootball of the tree) and secure the end of the pipe to the tree stake.

8 Watering: Plant only into moist soil and water thoroughly to the full depth of soil immediately after planting. Water regularly through the establishment period (minimum 3 months) to prevent dehydration. The 20-25cm girth trees should be watered through the irrigation pipe to ensure that the water gets down to the rootball. These trees should be watered regularly throughout spring/summer during the first 2 years to ensure that the tree root system establishes well.

**Planting Schedule**

Class	No.	Code	Plant Name	Height/Spread/Depth	DBH	Age	Plant	Container	Form	Density	Quantity	Notes
Understorey Shrub	12	SH	Understorey Shrub Mx (2.00m/2)	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Herbaceous Plant	13	HP	Herbaceous Plant	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	14	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	15	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	16	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	17	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	18	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	19	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	20	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	21	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	22	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	23	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	24	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	25	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	26	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	27	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	28	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	29	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	30	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	31	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	32	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	33	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	34	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	35	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	36	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	37	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	38	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	39	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	40	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	41	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	42	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	43	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	44	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	45	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	46	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	47	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	48	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	49	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	50	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	51	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	52	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	53	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	54	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	55	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	56	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	57	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	58	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	59	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	60	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	61	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	62	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	63	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	64	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	65	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	66	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	67	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	68	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	69	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	70	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	71	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	72	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	73	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	74	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	75	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	76	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	77	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	78	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	79	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	80	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	81	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	82	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	83	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	84	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	85	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	86	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	87	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	88	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	89	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	90	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	91	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	92	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	93	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	94	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	95	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	96	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	97	SH	Shrub	450-500cm	10-14cm	10	10	10	Standard (Extra heavy)	Standard (Extra heavy)	4.00	4.00
Shrub	98	SH	Shrub	450-500cm	10-14cm							

**Ward:** North Manor

Item 03

**Applicant:** McClung Dunne Partnership

**Location:** Windacre Works, Mather Road, Bury, BL9 6RB

**Proposal:** Outline application for demolition of the existing buildings and redevelopment of the site for residential development including means of access (All other Matters Reserved)

**Application Ref:** 58133/Outline Planning  
Permission

**Target Date:** 30/01/2015

**Recommendation:** Approve with Conditions

### **Description**

The property is a stone mill building located off a narrow access track that runs from Mather Road in a northerly direction, connecting once more at its northernmost end to Weaver Drive. The mill is constructed with a number of 'northern lights' and there are a number of openings along the westerly elevation fronting on to the access track. One section of the mill structure is already a dwelling and therefore only part of the building would be demolished, requiring any exposed walls of the remaining dwelling to be made good.

To the south of the site, parts of the former mill have been part demolished and to the east of the site is a lodge. To the west of the site are detached residential properties with gardens backing on to the access track. To the immediate north of the site, and attached to the premises is a separate property.

The application is seeking outline planning permission for the demolition of the mill and the redevelopment of the site for residential development. The means of access is also included to be taken from mather road. All other matters including the layout, scale and landscaping of the site are reserved matters.

The application is accompanied with an illustrative layout that indicates that the site can accommodate 9 dwellings, but this could increase or decrease under the terms of this application as the number of dwellings is not specified at this time.

### **Relevant Planning History**

54011 - Conversion of former dyeworks to 8 dwellings - approved 24/8/11

44535 - Conversion of existing building into 6 apartments, new 3 storey block of 12 apartments - Refused 9/9/05; appeal dismissed 20/7/06

41506 - Residential apartments - Approved 21/1/04

### **Publicity**

37 properties on the following streets have been notified: Cornfield Close, Thames Close, Mather Road, Charnley Street, Windacre House, Wheatfield Close, and Egerton House were consulted on 5/12/14. As a result of this publicity, 2 comments letters have been received from Windacre House and 101 Mather Road. Points raised include:

101 Mather road

- No objections to the demolition and construction of new housing, provided that it is carried out in harmony with the character of the area and this part of the river valley.
- Concerned about road traffic from the development conflicting with horse riders, walkers and cyclists. Recent improvements carried out by a local individual has increased traffic use.
- Their driveway is not visible to traffic coming down the road and is a potential hazard,

which will be increased by more traffic.

- Traffic calming measures should be introduced.
- Caution concerning sewers and services mains in the unmade road.

#### Windacre House

- No objection in principle but considers that more information should be sought to ensure that they are satisfied that their property would not be unduly affected.
- The mill shares a party wall and notice should be served upon them.
- It is not clear what would happen on the boundaries of the site and the neighbour's land.
- Some of the gardens would be minute.
- There is a very high party wall on the southern boundary of the site which would have to be lowered, which is not referred to in the application. Other parties have a land interest and should be served notice.
- The access road is not wholly owned by the applicant. The owner of Windacre House has resurfaced it in the past. Are the applicants now accepting responsibility?

These respondents have been notified of the Planning Control meeting.

#### Consultations

**Traffic Management** - No objections subject to standard conditions relating to prevention of mud on the highway arising through redevelopment, highway safety provisions, handling of the public right of Way on Mather Road, visibility provisions, parking and turning provisions and road surfacing.

**Drainage** - No objections subject to a condition relating to treating surface water drainage matters.

**Environmental Health Contaminated Land** - No objections subject to conditions relating to land remediation.

**Public Rights of Way Officer** - No objections received.

**Environment Agency** - No objections subject to conditions relating to the design details of floor levels, a surface water drainage scheme, the provision of safe routes into and out of the site, a scheme relating to the reservoir cross walls and the provision of a raised defence wall.

**Greater Manchester Police - design for security** - The application was submitted with a Crime Impact Assessment written by GM Police. Any further responses received shall be reported in the supplementary report.

**United Utilities (Water and Waste)** - No objections subject to a condition relating to treating surface and waste water drainage matters.

**Electricity North West Ltd** - No objections in principle. There are ENW assets in close proximity to the development site and care should be taken when working in such proximity to protect the assets, apparatus and personnel. This includes a low voltage cable providing supplies to an existing building in the site.

**Fire Service HQ Greater Manchester** - Any response received shall be reported in the supplementary report.

**Greater Manchester Ecology Unit** - No objections subject to conditions relating to an Environmental Construction Method Statement be prepared for the development giving details of measures to be taken to prevent any possible pollution of the adjacent water body during the course of any demolition /construction works and That a Method Statement be prepared giving details of measures to be taken to prevent the possible spread of invasive plants during the course of the development.

#### Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
EN7	Pollution Control
EN7/3	Water Pollution
OL5/2	Development in River Valleys
OL1/2	New Buildings in the Green Belt
EC2/2	Employment Land and Premises
H1/2	Further Housing Development
H2/1	The Form of New Residential Development

H2/2	The Layout of New Residential Development
HT5/1	Access For Those with Special Needs
RT2/2	Recreation Provision in New Housing Development
EN7/3	Water Pollution
HT2/4	Car Parking and New Development
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN1/2	Townscape and Built Design
EN7/1	Atmospheric Pollution
EN5/1	New Development and Flood Risk

### Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle - Policy EC2/2 – Employment Land and Premises -** states that the Council will seek the retention of existing employment land and premises outside the Employment Generating Areas except where it can be clearly demonstrated that an existing employment site or premises is no longer suited in land use terms to continued employment use. In such circumstances consideration will be given to alternative development providing it does not conflict with the character of the surrounding area and other policies and proposals of the Plan.

The building whilst formerly has been used for employment purposes in the past. Since, the Council has conducted its employment land review in preparation for the Core Strategy and it is considered that the site is no longer considered suitable for employment retention. As such the site can be developed for alternative uses. The site is unallocated within the Bury Unitary Development Plan but lies within the River Valley under Policy OL5/2.

Policy OL5/2 - Development in River Valleys - confirms that within the River Valleys, new buildings or the change of use of existing buildings or the change of use of land will not be permitted. The only exceptions considered acceptable will be those where the development would not lead to the division of the open parts of the valleys into sections and it falls within the terms below:

- Where the area is designated as Green Belt the established Green Belt policies will apply; or
- Where the area does not form part of the Green Belt, at least one of the following circumstances is met:
- That the development represents limited infilling to an established valley settlement or industrial area;
- That it is an extension to, or renewal of an existing industry, where the economic and employment factors are of overriding importance;
- That the development is required in association with an outdoor recreation or appropriate tourist facility;
- That the development is limited and will form part of, and be essential to, the maintenance of the provision and improvement of public services and utilities;
- Any other development that would be appropriate in a Green Belt.

Following revocation of the North West Regional Strategy on 20th May 2013, there is no statutory housing target for Bury. Work is in progress on Bury's Local Plan - 'The Core Strategy', which will bring forward a new statutory housing target. It is currently proposed that the new housing target in the Local Plan should be set at 400 dwellings per annum, which is currently timetabled to be adopted in 2014.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 - Further housing considers that housing should be located where there is adequate infrastructure, within the urban area, to accommodate new residential development thus to minimise the pressure upon more peripheral open land and Green Belt. The site is not within the Green Belt and is on the edge of the urban area., where there is adequate services and infrastructure. As such, the site would be considered to be a suitable one for residential purposes complying with the policy.

The redevelopment of this site has already been approved in the past, albeit that the last permission has expired. The development would be limited in that the site is an already developed brownfield site and is flanked by existing built development to both the northeast and south. it would take place between existing buildings and is on the edge of an existing urban development. The proposals would not appear to further encroach or subdivide the river vally and is indeed constrained by the open water reservoir. On this basis the development would comply with one of the consideration of policy OL5/2.

The site is in an area that is well served by existing infrastrucute and is in a relatively sustainable location. The site is a brownfield site and not within the Green Belt. Given the nature of the proposals, the status and location of the site, the redevelopment for residential purposes is acceptable in principle.

**Flood Risk** - The site is located in close proximity to a reservoir and immediately to the south of the building is a sluice. The proposals have been submitted with a flood risk assessment and the Environment Agency have been consulted and duly responded. The existing structures do require some redemial works and further flood defeces will be required to be constructed in the event of over topping by water, such that there is no additional risk created by the proposals.

The principles of the development described within the flood risk assessment are considered sufficient to permit a positive recommendation to be made. The Environment Agency have responded to this effect. However, there is a need for planning conditions to ensure that the works that are carried out are done in an appropriate way, to a sufficient level, at an appropriate time and to ensure that floor levels of the dwellings are set at such a level so as not to be at risk from flooding.

On this basis the development would not conflict with NPPF Chapter 10 and UDP Policy EN5/1.

**Highways** - Mather Road is unmade and unadopted for the extent that runs past the mill that connects Weaver Drive to the north and with the adopted part of mather Road to the south. Approximately 170m in leghth. This unmade part of Mather Road is a byway, which allows horse riding in addition to walkers.

In terms of red edge of the application and access considerations for which permission is sought, UDP Policy H2/2, the development includes the unadopted highway that leads to the site from the south. The access road is narrow and would not allow vehicles to pass each other. However, the length of road involved would be such that there would be adequate views of vehicles using the road without the need for further widening or passing bays. Vehicular access points would be recessed into the building such that vehicles entering the site or leaving the site would be clear of the access road allowing other vehicles to pass or be seen.

Provision of a segregated footway on the westerly side of Mather Road abutting the site

located clear of the existing public right of way;

Following consultation with the Traffic Section, they confirm that they are content with a planning condition to require highway works to be carried out to provide suitable access to the site, when approaching from the south. It is accepted that the access is narrow and constrained development but a safe and useable access is achievable without the need for any widening works.

On this basis the development would not conflict with H1/2 and H2/2.

**Crime and Design** - The application as submitted is seeking the principle of the development and the means of access. The application is accompanied with a Crime Impact Report, which has been written by GM Police. The report has no objection to the redevelopment of the site at this stage and sets out criteria that should be incorporated into the detailed design at reserved matters stage. On this basis there would be no objection in terms of UDP Policy H2/2 - The Layout of new Residential Development and EN1/5 - Crime Prevention.

**Recreation Provision** - The development is not seeking specific numbers at this stage. UDP Policy RT2/2 seeks provisions to be made for recreation provision in relation to residential development. As such, there should be a condition requiring the inclusion of recreation provision in the event of the development meeting the triggers for provision.

**Affordable Housing** - The development is not seeking specific numbers at this stage. UDP Policy H4/1 seeks provisions to be made for affordable housing provision in relation to residential development. Currently this is where development exceeds 25 units. It is potentially conceivable to include or layout the site with flats, which would be the most likely way that such a density could be achieved. However this would only become clear at the reserved matters stage. As such, there should be a condition requiring the inclusion of affordable housing provision, in the event of the development meeting the triggers for provision.

**Ecology** - The building has been assessed for bats and concludes risks to be low. The site is also within a Wildlife Link and Corridor. Given these considerations, the proposals make minimal changes to the site and the building such that there would be no impact upon protected species or ecology. As such the proposals would not conflict with EN6/3 or NPPF Chapter 11 para 118.

**Contaminated Land** - The site is currently occupied by former mill buildings partly used as a welding workshop. Surrounding current land uses include open land, woodland, a reservoir, a derelict works and residential housing. The site has historically been in use as a Bleach and Dye Works with an associated reservoir, followed by a Bleach Works and a Welding Works. Surrounding land uses have included an Agricultural Machinery Works, an Engineering Works, a sub station, filter beds and filled land. The site is within 250 metres of a landfill site and lies adjacent to a reservoir, which is used a fishing lodge. Pigs Lee Brook is culverted to the south of the site. The site is situated above glacial till over the Millstone Grit Secondary Aquifer. A private water supply is located appropriately 190 metres to the south east. A Preliminary Risk Assessment and Site Investigation was carried out in 2005 and submitted to the Council for a previous planning application. Elevated levels of contaminants and ground gas were found.

A Phase 1 Desk Study / Preliminary Risk Assessment Report and Site Investigation Report have been submitted and assessed by the contaminated land section of Environmental Health. Further investigation including ground gas monitoring has been recommended and is therefore required by conditions.

**Other matters** - The issues relating to party walls are private matters between the respective parties. However, it would be necessary to impose a planning condition relating to the way in which any exposed gable walls would be reinstated and appear.

The application is accompanied by Certification that demonstrates that the application has been publicised to accommodate third party owners to come forward and register their views on the proposals in terms of land ownership.

The layout shown is purely indicative and any future reserved matters application would need to show the layout of the site. As such, comments relating to the gardens is not relevant at this point.

The development proposals have no relevance in terms of assumed responsibilities of land.

Materials would need to be in character of the indigenous area and would form part of the external appearance reserved matter.

### **Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

#### **Conditions/ Reasons**

1. Applications for approval of reserved matters must be made not later than:
  - the expiration of three years beginning with the date of the grant of outline planning permission; and
  - that the development to which the permission relates must be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the last such matter to be approved.

Reason. Required to be imposed pursuant to Section 51 of the Planning and Compulsory Purchase Act 2004

2. Before the development is commenced, the applicant shall submit detailed plans and particulars to the Local Planning Authority, and obtain their approval under the Town and Country Planning Acts, of the following reserved matters; the layout, scale, appearance and the landscaping of the site.

Reason. To ensure the satisfactory development of the site and because this application is in outline only.

3. This decision relates to drawings numbered M14-26-03 rev 01, Designforsecurity Crime Impact Assessment Version A 22/6/11, Leyden Kirby Flood risk Assessment Ref: FRA 14 1037-01 Sept 2014, Ecology Services UK Ltd Report dated 26/8/14, Leyden Kirby Phase 1 and Phase 2 Geo-Environmental Investigation and Risk Assessment report, Design and Access Statement Oct 2014, and the development shall not be carried out except in accordance with the



drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed within the report.

4. No development shall commence unless and until:-
- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
  - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
  - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and; The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and

approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. Notwithstanding the details indicated on illustrative plan reference M14-26-03 Revision 01, full details of the following highway aspects shall be submitted at first reserved matters application stage:
  1. Provision of a segregated footway on the westerly side of Mather Road abutting the site located clear of the existing public right of way;
  2. A scheme for improvement of the surface of Mather Road between the existing limits of adoption to the south of No. 101 Mather Road to the northerly site boundary;
  3. Visibility splays in accordance with the standards in Manual for Streets at the junctions of the proposed site accesses with Mather Road, with no obstructions above the height of 0.6m within them;
  4. Parking provision in accordance with the standards in Supplementary Planning Document 11 Parking Standards in Bury;
  5. Provision of adequate parking arrangements and turning facilities to enable vehicles to enter and leave the site in forward gear.

The details subsequently approved shall be implemented to the written satisfaction of the Local Planning Authority before the development is first occupied.

Reason - To ensure good highway design, to ensure adequate off street car parking provision in the interests of road safety and to minimise the standing and turning movements of vehicles on the highway, all in the interests of highway safety pursuant to UDP Policies HT6/1 - Pedestrian and Cyclist Movement, H1/2 - Further Housing Development, H2/2 - The Layout of New Residential Development.

9. The Developer, within one week of the commencement of development, shall ensure that there is provision to be made for the parking on site of operatives and construction vehicles together with storage on site of construction materials. The provision shall be retained and used for the intended purpose for the duration of the construction period and that area shall not be used for any other purposes other than the parking of vehicles and storage of construction materials respectively.

Reason - To ensure adequate off street car parking provision for the duration of the construction period in the interests of road safety pursuant to UDP Policy HT6/1 - Pedestrian and Cyclist Movement.

10. Before the development is commenced, details shall be submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.

Reason - To ensure that the adjacent public right of way and adopted highways are kept free of deposited material from the ground works operations pursuant to UDP Policies EN7 - Pollution and EN7/1 - Atmospheric Pollution.

11. The elevations of the development shall be carried out using stone and slate. Details and sSamples of the materials to be used in the external elevations, together with details of type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.  
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policies OL5/2 - Development in River Valleys and EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
12. The development shall not exceed the highest part of the Windacre House ridge height adjoining the site.  
Reason - The development is located within the river valley and to ensure that the development retains the character of the area in terms of height and scale pursuant to UDP Policies H2/1 - The Form of New Residential Development, H2/2 - The Layout of New Residential Development and OL5/2 - Development in River Valleys.
13. As part of the submission for reserved matters relating to the layout of the site, details shall be submitted that shall show how the development permitted by this planning permission accords with the approved Flood Risk Assessment (FRA) by LK Consult (FRA 14 1037-01) and shall clearly demonstrate the following mitigation measures -
1. Limiting the surface water run-off generated by the development to 50% of that produced by the existing site including the use of SudS and demonstrated through the submission of supporting flow calculations.
  2. Details and specifications relating to the repair works including the finalised structure and land levels required for the provision of the raised defence wall between the development and the reservoir spillway outlined in section 3.6.
  3. Identification and provision of safe route(s) into and out of the site to an appropriate safe haven.
  4. Confirmation of the alterations to the existing reservoir cross wall as outlined in section 3.6.
  5. Details of the finished floor levels for the dwellings and proposed topography of the land within the development site

The timing / phasing arrangements of implementation shall embodied within the scheme and there shall be no occupation of the site unless and until the approved mitigation measures have been implemented in accordance with the approved details.

Reason -

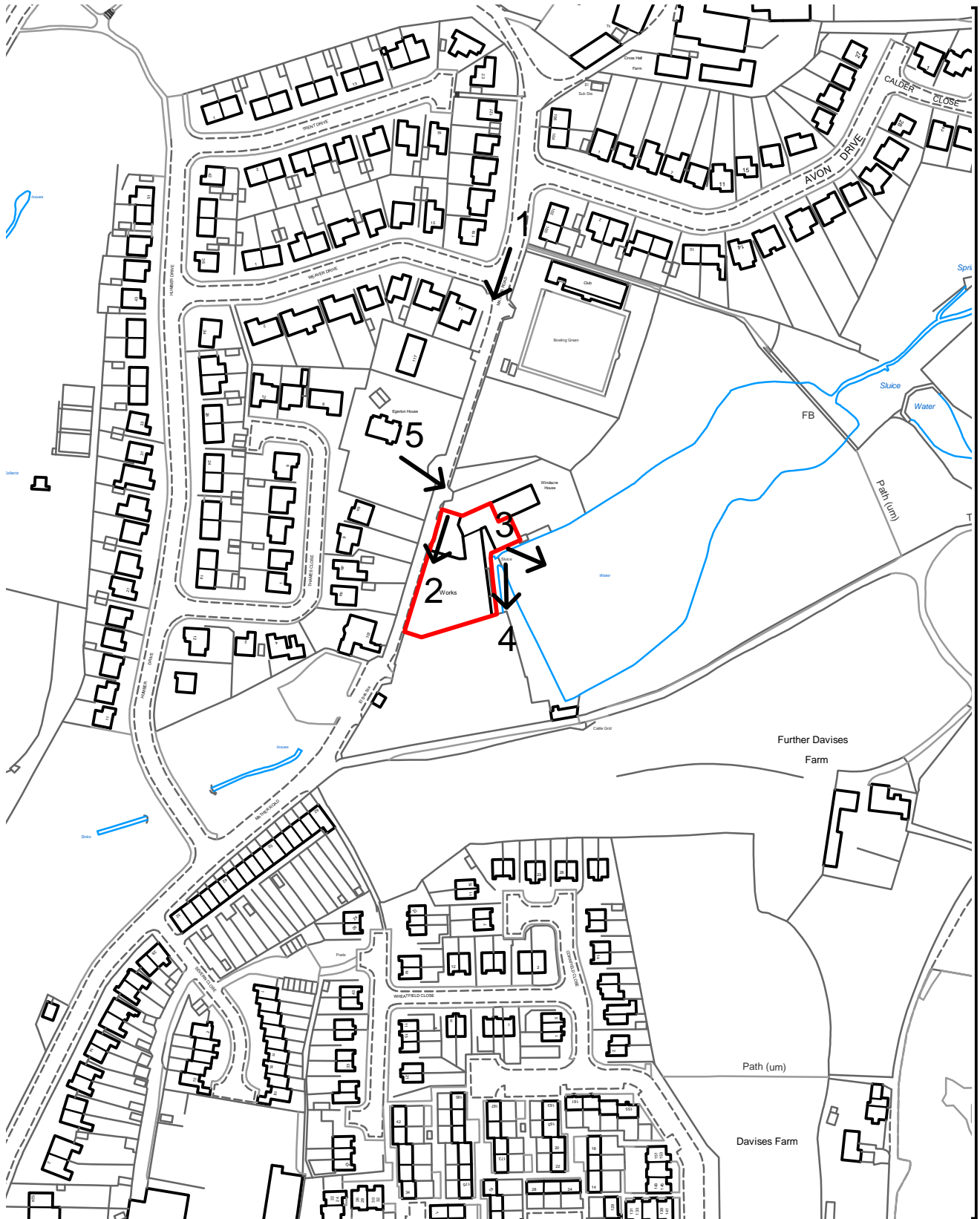
1. To reduce the risk of flooding by ensuring the satisfactory storage of/disposal of surface water from the site.
2. To reduce the residual risks to the development.
3. To ensure safe access and egress from and to the site.
4. To reduce the residual risks to the development.
5. To reduce the risk of flooding to the proposed development and future occupants.

pursuant to UDP Policy - EN5/1 - New Development and Flood Risk and NPPF - Chapter 10 Meeting the Challenge of climate change, flooding and coastal change.

14. No demolition shall commence unless and until a scheme relating to the demolition methodology of the building in relation to the adjoining Windacre House has been submitted and approved in writing by the Local Planning Authority. The scheme shall include details of weather proofing any exposed areas of Windacre house following demolition, a timetable of implementation and and restoration including structural information and finishing materials. The development shall be carried out in accordance with the approved details.  
Reason - To ensure that the remaining part of the adjoining structure remains habitable and retains the visual character of the building pursuant UDP Policy H2/1 - The Form of New residential Development and OL5/2 - Development in River Valleys.
15. In the event of the development comprising 11 units or more, the development authorised by this permission shall not begin unless and until the Local Planning Authority has approved in writing a scheme to secure recreation provision, which shall include a mechanism for delivery, in accordance with policy RT2/2 – Recreation Provision in New Housing Development and its associated SPD1 – Open Space, Sport and Recreation Provision in New Housing development. The scheme shall be submitted as part of the reserved matters application and the recreation provision shall be delivered in full accordance with the approved details.  
Reason - To ensure that the development would contribute to satisfying the need for recreation provision pursuant to Bury Unitary Development Plan Policy RT2/2 - Recreation Provision In New Residential Development and the associated Supplementary Planning Document 1 - Open Space, Sport and Recreation in New Housing Development.
16. In the event of the development comprising 25 units or more, the development authorised by this permission shall not begin unless and until the Local Planning Authority has approved in writing a scheme to secure Affordable Housing provision as part of the development, which shall include a mechanism for delivery, in accordance with policy H4/1 – Affordable Housing and its associated SPG5 – Affordable Housing Provision in New Residential Developments. The scheme shall be submitted as part of the reserved matters application and the affordable housing provision shall be delivered in full accordance with the approved details.  
Reason. To ensure that the development would contribute to satisfying the need for affordable housing provision pursuant to Bury Unitary Development Plan Policy H4/1 - Affordable Housing and the associated Development Control Policy Guidance Note 5 - Affordable Housing Provision In New Residential Developments.

For further information on the application please contact **Dave Marno** on **0161 253 5291**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 58133**

**ADDRESS: Windacre Works  
Mather Road, Bury**



**Bury**  
COUNCIL

**Planning, Environmental and Regulatory Services 1:1250**

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Photo 1



Photo 2



Photo 3



Photo 4



Photo 5







**Ward:** Ramsbottom and Tottington -  
Ramsbottom

Item 04

**Applicant:** Mr Brian Davies

**Location:** Higher Tops Barn, Moor Road, Ramsbottom, Bury, BL8 4NU

**Proposal:** Erection of agricultural Store and yard, entrance onto Moor Road

**Application Ref:** 58146/Full

**Target Date:** 08/01/2015

**Recommendation:** Approve with Conditions

### **Description**

The site is in a remote, rural location on Holcombe Hill, within the Green Belt, West Pennine Moors and Special Landscape Area. The area is predominantly moorland and characterised by dry stone walls which separate the surrounding land and fields. The only other residential property in the immediate vicinity is Higher Tops Farm, directly to the north.

The site comprises the dwellinghouse, Higher Tops Barn and a stable block and paddock area, which are located to the south of the site and which are positioned at the top of a field, adjacent to Moor Road. Access to the dwellinghouse is from Moor Road which is classified as a bridleway and unadopted.

The site forms part of an agricultural holding and has a farm holding number with DEFRA.

The application seeks the erection of an agricultural store and associated yard/hardstanding area, and formation of a new entrance onto Moor Road. Details are as follows:

Agricultural store - It would be 15m long x 10m wide x 4.35m high (150 sq m in area).

Elevations would comprise a 0.5m plinth of local stone with the remaining elevations clad in Yorkshire timber with a green sheeted metal roof. It would be sited on the proposed hardstanding yard area to the south of the stables on the south western area of the field and site, adjacent to the boundary wall which runs alongside Moor Road.

Associated yard area - The proposed area would be 12.7m x 10m (127 sq m in area). The Design and Access Statement confirms the yard would be surfaced with a locally sourced brown gravel. It would be used to park a tractor and vehicle and trailer used in association with the agricultural holding.

Entrance to Moor Road - This would lead from the yard out onto Moor Road. The access would be 7.9m long out of the site and comprise crushed hardcore to a depth of 600mm overlaid with a brown limestone gravel. There is an existing land drain which runs along the outside of the site boundary adjacent to Moor Road and a storm drain encased in concrete would be constructed under the entrance area.

The site has a chequered planning history which is summarised as follows. Unauthorised works have been carried out at the site, through the creation of a hardstanding and gate enclosure and the formation of an access road from the hardstanding at the Moor Road end of the site down through the field to Helmshore Road. Enforcement Action has been taken against the unlawful development. Two retrospective planning applications to retain the development were refused and an appeal has been dismissed. The development remains unlawful and the Enforcement Notice still stands. Failure to remove the track will result in further action being taken by the Enforcement Section.

See planning history below.

## **Relevant Planning History**

55864 - Retrospective application for the change of use of land from agriculture to hardstanding for the parking of vehicles and trailers (in connection with the use of the stables at Higher Tops Barn) and retention of access track (resubmission) - 03/09/2013

46659 - Two stables with associated tack & food store room - Approve with Conditions 05/09/2006

55296 - Retrospective application for the change of use of land from agriculture to hard standing for the parking of vehicles and trailers (In connection with the use of the stables at Higher Tops Barn) and formation of access track. - Refused 13/08/2012

55864 - Retrospective application for the change of use of land from agriculture to hardstanding for the parking of vehicles and trailers (in connection with the use of the stables at Higher Tops Barn) and retention of access track (resubmission) - Refused 25/01/2013

57106 - Erection of agricultural store, 2 no. mobile hen shelters, retention of private way and hardstanding for agriculture - Withdrawn - Invalid 20/03/2014

57685 - Erection of agricultural store and yard, entrance onto Moor Road (resubmission) - Refused 20/08/2014

## **Publicity**

7 letters sent on 14/11/2014 to properties at Hillcrest, Lower Dickfield, Higher Dickfield, Highfield House, Lower Tops Farm all Helmsore Road; Higher Tops Farm, Harcles Hill Farm Moor Road.

One letter of objection received from Hillcrest, Helmsore Road, which raises the following issues:

- Do not understand the need for such a large agricultural store when the land left would not sustain more than 10 sheep, as well as the horses;
- 10 sheep would not create much employment or make much difference to the applicant's business;
- Is it the true intention of the building to house the existing vehicles?;
- If granted, can a condition be included to remove the eyesore of a road in this field?

A lengthy objection has been received from Higher Tops Farm. The letter is available to view on the public file. The objection is also accompanied by photographs of the site and letters of correspondence received from the applicant's agent on behalf of their applicant regarding the proposals, and the responses from the objectors at Higher Tops Farm to the agent. The correspondence was exchanged prior to the submission of the application.

Issues raised by the objectors to the planning application are as follows:

- Critical of some of the answers on the application form (questions answered incorrectly, skeptical of some answers, etc)
- Plans are not detailed to show the true existing situation, including omissions, anomalies and level discrepancies for the new access;
- Rights of way - There are no written rights of way in the title deeds in favour of the Barn for this section of Moor Road and we would not grant consent for such a development;
- Question how the development is going to be built with the number of wagon trips needed - would this be from Helmsore Road?;
- Design and Access Statement - discrepancies including lack of access arrangements for the stables.
- The size of holding would make for a hobby farm but not a viably commercial enterprise;
- The store is close to existing water sinks and culvert - already drainage issues on the site;
- The store is too large/high for a few sheep - so what is its use going to be? No detail of structural materials;
- Why is the yard needed if not for private residential use and equestrian purposes? This amount of hardstanding is excessive for parking a tractor and trailer;
- Details for a new access onto Moor Road are not only flawed but unacceptable and environmentally wrong;

- Planning policy - is the development reasonably necessary;
- The past applications have changed tact that quickly it shows there is no real farming plan only an intent to get what they want;
- Applicant has spent over 4 years claiming Moor Road is an unsuitable access, but now its the desired route;
- Have applied for a Holding number to apply under the banner of agriculture to get it passed;
- There are more suitable areas of land on which to create a private yard area for both residential and equestrian use.

The objectors have been informed of the Planning Control Committee meeting.

### **Consultations**

**Traffic Section** - No objection in principle. Recommend there shall be no direct means of vehicular access between the store and yard and Helmshore Road.

**Drainage Section** - No objections subject to a condition to provide details of surface water drainage aspects.

**Environmental Health Contaminated Land** - No comments to make.

**Environmental Health Public Health** - No comments to make

**Public Rights of Way Officer** - No objection.

**Environment Agency** - No objection

**Environmental Health Pollution Control** - No comments to make.

### **Unitary Development Plan and Policies**

OL1	Green Belt
OL7/2	West Pennine Moors
EN9/1	Special Landscape Areas
OL4/5	Agricultural Development
OL1/5	Mineral Extraction and Other Dev in the Green Belt
EN1/1	Visual Amenity
NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
HT2	Highway Network
HT4	New Development
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Policies** - Paragraph 28 of the NPPF supports a prosperous rural economy, stating that planning policies should support economic growth in rural areas in order to create jobs and prosperity and take a positive approach to sustainable new development. Plans should include support for sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well designed new buildings and should seek to promote the development and diversification of agricultural and other land-based rural businesses.

Chapter 9 of the NPPF - Protecting Green Belt land - All development in the Green Belt is inappropriate development unless it falls within the exceptions listed in paragraphs 89 and 90. One of the exceptions applies to new buildings in relation to agriculture. Paragraph 90 regards engineering operations not to be inappropriate development in the Green Belt

providing it preserves the openness and does not conflict with the purposes of including land in it.

UDP Policy OL1/2 - New buildings on the Green Belt are inappropriate development unless for a purpose including agriculture and forestry, essential facilities for outdoor sport and recreation, limited extension, alteration or replacement dwellings and limited village infill.

UDP Policy OL4/5 - Agricultural Development - Development, building or structures which require planning permission will be permitted providing they are sited and designed in such a manner as to minimise their visual impact on the landscape having regard to height, materials, landform and landscaping; relate well to existing buildings and not have an unacceptable impact on the amenity of the neighbouring dwellings.

OL7/2 - West Pennine Moors - The Council will control development and manage recreational activity and public access, so as to reduce any possible detrimental effects this may have on the important character of the area. Implementation will not only focus on the control of development and the management of recreation and public access, but also measures to enhance the environment.

EN9/1 - Special Landscape Areas - Any development which is permitted will be strictly controlled and required to be sympathetic to its surroundings in terms of visual impact. High standards of design, siting and landscaping will be expected. Unobtrusive development will not be permitted in such areas.

#### **Principle -**

Agricultural store - Paragraph 89 regards the construction of new buildings in the Green Belt as being inappropriate development. Exceptions to this are buildings for agriculture and forestry. The proposed agricultural store would therefore be acceptable in principle. Impact on the Green Belt by virtue of its of the siting, size and design is considered in the report below.

Hardstanding yard area - The hardstanding would be considered an engineering operation under Paragraph 90 of the NPPF and not inappropriate development in the Green Belt providing the openness would be preserved and the proposal would not conflict with the purposes of including land in it.

#### **Impact on the surrounding area and the Green Belt -**

Agricultural store - The building would be sited at the top of the field but it is considered not to form a significant structure on the skyline when viewed from Moor Road. This is partly due to the design, which would incorporate a sloping pitched roof when viewed from the east and Helmsore Road, and would therefore appear to 'sit' into the contour of the land rather than the building appearing 'perched' on top of the hillside.

The store would be modest in design and similar to other buildings found in agricultural use, comprising materials of a plinth of local stone, timber boarding elevations and a green sheeted roof. The proposed materials would be acceptable and sympathetic for a use as an agricultural store in a rural area, and appropriate with regard to the building's location.

The proposed building is considered to be of a reasonable size and scale for an agricultural store. It would be positioned as part of a group of buildings adjacent to the stables. The guidance in SPD8 relating to siting of buildings as clusters has been followed.

As such, it is considered that the position, size and design of the store would be acceptable within the setting of a rural location and would not cause detrimental harm to the character of the Green Belt. The proposal is therefore considered to comply with the NPPF, UDP Policies EN1/1, EN9/1, OL1/5, OL4/5 and SPD 8.

Hardstanding yard area - The applicant has taken note of the LPA's comments and concerns which have been raised about the extent of hardstandings previously applied for,

and which have been refused on a number of occasions. The area of hardstanding in this application would be 127 sq m which is significantly smaller in size compared to the preceding application which proposed a hardstanding area of 765 sq m, and which was a reason for refusal on application reference 57685. The yard would be surfaced with locally sourced brown gravel which is considered to be an appropriate surfacing commonly found in rural locations. The area which is hatched on plan drawing number BD RE-SQ would be returned to a grassed paddock area and this would also be included as a condition.

The hardstanding would be used to access the store building and for the parking of a tractor and vehicle and livestock trailer to be used in conjunction with the agricultural holding. A condition would be attached which would restrict the use of this hardstanding area for the parking of vehicles in association with agricultural purposes only, and not for the parking of domestic vehicles.

As such, it is considered the proposed hardstanding would not be excessive in area and would be an appropriate size fit for purpose. It is considered the hardstanding would not cause harm to the openness and character of the Green Belt and as such would comply with the NPPF, UDP Policies EN1/1, EN9/1, OL1/5, OL4/5 and SPD 8 and 10.

**New access** - This would require the removal of a section of the dry stone wall which runs adjacent to Moor Road. The opening would be 4m wide and would be similar to other openings into farms or agricultural holdings which are found in the countryside. The access would comprise crushed hardcore overlaid by local brown limestone gravel, similar to the proposed yard area. The verge would be re-grassed and graded to the existing level. As such, it is considered that there would not be any harm caused to the Green Belt by virtue of the relatively minor opening in the stone wall which would be created.

**Access** - Following the refusal of previous applications to access the site from Helmshore Road, (and dismissed on appeal), the applicant was advised to explore an alternative access from Moor Road.

It is proposed to open up a section of the dry stone wall to facilitate a new access into the site which would lead directly to the proposed yard area. A 6m radii for visibility purposes onto Moor Road would be incorporated and entrance would be fenced off by a 1.1m high farm gate.

The Highways Section are satisfied with the details of the plans and have raised no objection to the proposal on this basis. They have, however, recommended that there shall be no direct means of vehicular access between the store and yard and Helmshore Road. Access from Helmshore Road does not form part of the proposal and it cannot be surmised that this would be the case.

The proposed access from Moor Road would require consent from the owners of Higher Tops Farm, as this part of the application site is within their ownership. In view of the third party land owner's objection, it may be the case that this consent may not be granted by them. This is not a material planning consideration and the proposed development is assessed on planning policy and planning merits only, rather than land ownership issues. However, as access is being applied for from Moor Road, it would be prudent and sensible to ensure the site could be accessible from this route, before any other part of the development is commenced or brought into use. As such a condition would be attached that should the development be approved, the access would be made available prior to the storage building/hardstanding being built/brought into use. This is considered to be reasonable as there are no other safe alternative access given the history of the site and the concerns raised in previous application by the highways section and the Planning Inspectorate.

**Residential amenity** - The development would be located to the south of the neighbouring property, Higher Tops Farm, set behind both the applicant's house and stables and it would therefore not be readily visible from the neighbour's property. The proposed access road

from Moor Road would not encroach the neighbour's curtilage.

As such, it is considered the proposal would not be detrimental to the visual amenities of the neighbouring property.

The issues which involve land ownership and covenants/deeds on land are not material planning matters and would be private issues between the two parties.

**Drainage** - The objector raised concerns about existing drainage issues on the site which would be exacerbated by the proposed development.

The applicant has not submitted details of a proposed drainage scheme.

The Drainage Section have been consulted on the application and raise no objection subject to a condition that surface water drainage aspects are submitted, to include SuDS options, as well as a scheme to incorporate solutions to address run off problems on Moor Road. The details will be required prior to the commencement of any development.

Details of the treatment of waste and any by-products associated with the agricultural use would be included as a condition.

### **Response to objectors -**

Response to Hillcrest -

- The number of livestock relating to the agricultural holding is not a material planning issue and would be considered under separate legislation.
- The plans show the building would be used for storage purposes and the yard for the parking of cars associated with the agricultural use only.
- The unauthorised access track does not form part of this planning application and is subject to separate enforcement action.

Response to Higher Tops Farm -

- For the purposes of the planning application, the application form contains the necessary correct information required for the submission. Matters relating to the provision of drainage and waste storage can be conditioned.
- Revised plans have been received with the correct building dimensions and layout.
- Land ownership and consents over private rights of way are not material planning considerations.
- The discrepancies in the Design and Access Statement referred to question the acceptability of the proposal, size of hardstanding and store and its genuine use, numbers of proposed livestock and outstanding unauthorised works.
- The issues of drainage have been covered in the above report.

### **Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

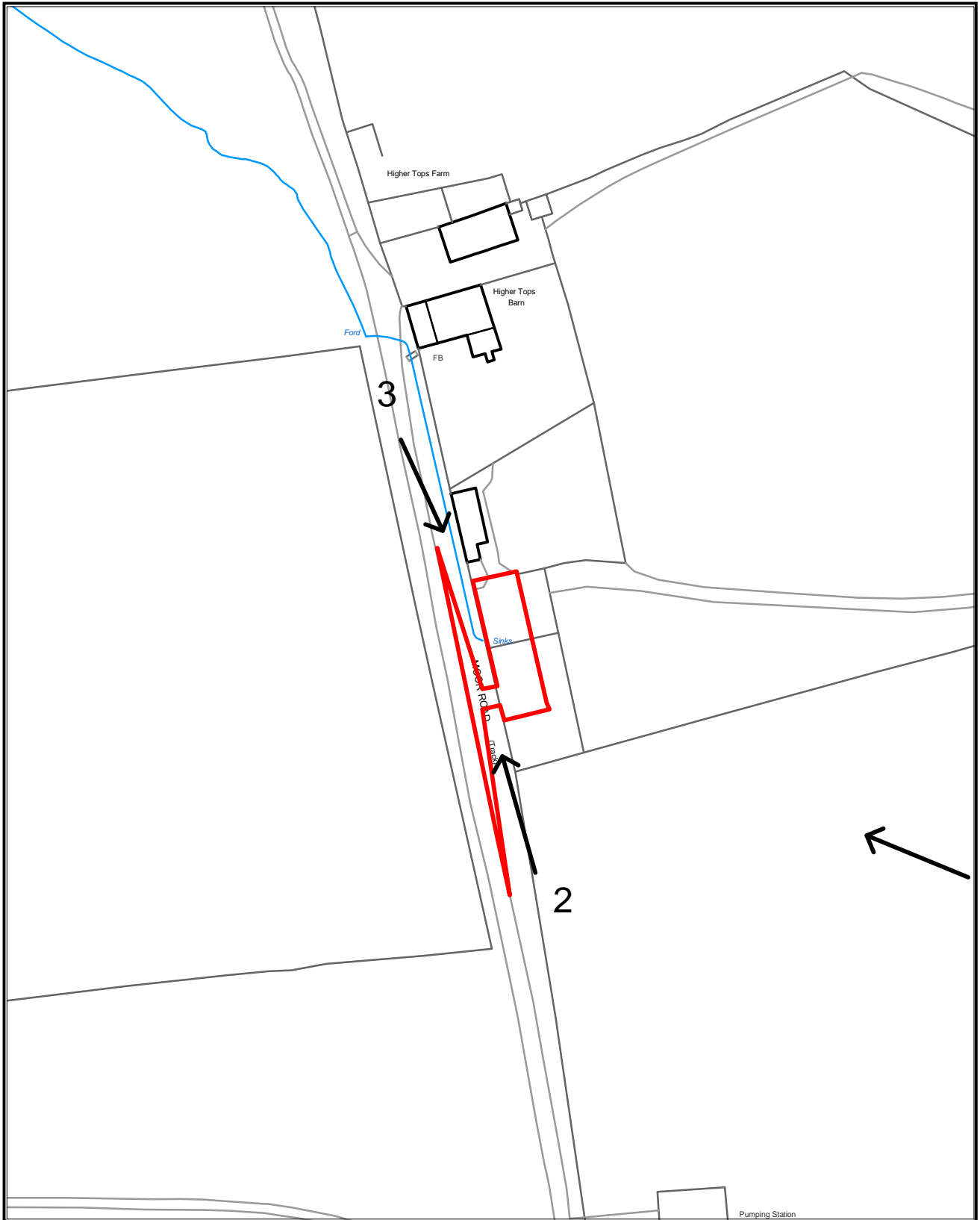
1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Red edge location plan BD RE-SP; Detailed Master Plan (re-seeded) BD RE-SQ; Rights of Way Plan BD 02B; Master plan BD 02; Visibility Splay onto Moor Road BD 04; Proposed cross sectional drawing showing access off Moor Road BD REV-ST; Agricultural store (Elevations and Plan) BR 01 (Revision 4); Design and Access Statement and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until details of surface water drainage aspects have been submitted to and approved by the Local Planning Authority. This must include assessment of potential SuDS options for surface water drainage with appropriate calculations to support the chosen solution. The scheme should incorporate solutions which address run off problems on the adjacent unadopted road taking active steps to reduce flows in this direction. The approved scheme only shall be implemented and thereafter maintained.  
Reason. To ensure satisfactory arrangements for the treatment of surface water drainage pursuant to Chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
4. The hardstanding indicated on plan BD RE-SQ (Detailed Master Plan) shall only be used for the parking /storage of trailers and agricultural vehicles in association with the agricultural building hereby approved. It shall not be used for the parking/storage of any domestic vehicles.  
Reason. In the interests of visual amenity and to protect the openness of the Green Belt pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual Amenity; OL1/5 - Mineral Extraction and Other Development in the Green Belt, EN9/1 - Special landscape Areas and SPD8 - New Buildings and Associated Development in the Green Belt.
5. No development shall commence unless and until details of the alterations to the existing wall, indicated as a dry stone wall to be retained (as shown on plan BD RE-SQ), have been submitted to and approved by the Local Planning Authority. The approved details only shall be implemented and maintained thereafter.  
Reason. In the interests of visual amenity pursuant to Bury Unitary Development Plan Policies EN1/1 - Visual amenity, EN1/2 - Townscape and Built Design, OL1/5 - Mineral Extraction and Other Development in the Green Belt and SPD 8 - New Buildings and Associated Development in the Green Belt.
6. Any field gate/opening or other form of access from the development site hereby approved on plan BD RE-SP, to the field to the east, shall not be used for domestic purposes.  
Reason. In the interests of highway safety pursuant to Bury Unitary Development Plan Policies HT2 - Highway Network and HT4 - New Development.



7. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) Order 1995, as subsequently amended, no development shall be carried out within the terms of Schedule 2, Part 6, Class B (a), (b), (d) and (e).  
Reason. To ensure that future inappropriate development does not occur pursuant to policies of the Unitary Development Plan listed.
8. The agricultural store and hardstanding hereby approved shall be used for storage purposes only in association with the use of the agricultural holding. The agricultural store and hardstanding comprising the development for which permission is hereby granted are required to be respectively removed within 3 months of the development hereby approved ceasing use for agricultural purposes and the land reinstated to its former condition as a grassed field/paddock within 3 months.  
Reason. To ensure appropriate use of the storage building hereby approved in the interests of preserving the openness and character of the Green Belt pursuant to Bury Unitary Development plan Policies New Buildings in the Green Belt and SPD8 - New Buildings and Associated Development in the Green Belt.
9. The dotted area on plan BD RE-SQ labelled as "Returned to grass" and indicated within the red edge site on plan BD RE-SP shall be returned to a grassed area and thereafter maintained, within 3 months of the commencement of the development hereby approved. The works to return the area to grass shall include the removal of the existing hardstanding and any base layer.  
Reason. In the interests of visual amenity and to preserve the character of the Green Belt pursuant to Bury Unitary Development plan policies OL1/5 - Mineral Extraction and Other Development in the Green belt, EN1/1 - Visual Amenity and EN9/1 - Special Landscape Areas.
10. The proposed access from/to Moor Road hereby approved shall be implemented and be available for use, prior to the commencement of any other part of the development hereby approved as shown in plan BD RE-SQ.  
Reason. To ensure the site can be satisfactorily accessed from Moor Road in the interests of highway safety pursuant to Bury Unitary Development Plan Policies HT2 - Highway Network and HT4 - New Development.
11. No development in relation to the agricultural building shall commence unless and until details for the provision of the storage and treatment of waste and by-products associated with the use of the agricultural store hereby approved has been submitted for approval by the Local planning Authority. The approved scheme only shall be implemented following the implementation of the use of the agricultural building hereby approved, and thereafter maintained.  
Reason. To control environmental nuisance and minimise pollution levels associated with the development hereby approved pursuant to Bury Unitary Development Plan Policy EN7 - Pollution Control.
12. The agricultural store hereby approved shall only be constructed of the materials hereby approved on plan BR 01 (Revision 4) and none other, either externally or internally, and thereafter maintained as such.  
Reason. To ensure the building is only capable for use for agricultural purposes only pursuant to Bury Unitary Development Plan Policies 4/5 - Agricultural Development and OL1/5 - Mineral Extraction and Other Development in the Green Belt.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 58146**

**ADDRESS: Higher Tops Barn  
Moor Road  
Ramsbottom**

**Planning, Environmental and Regulatory Services 1:1250**



**Bury**  
COUNCIL

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Photo 1

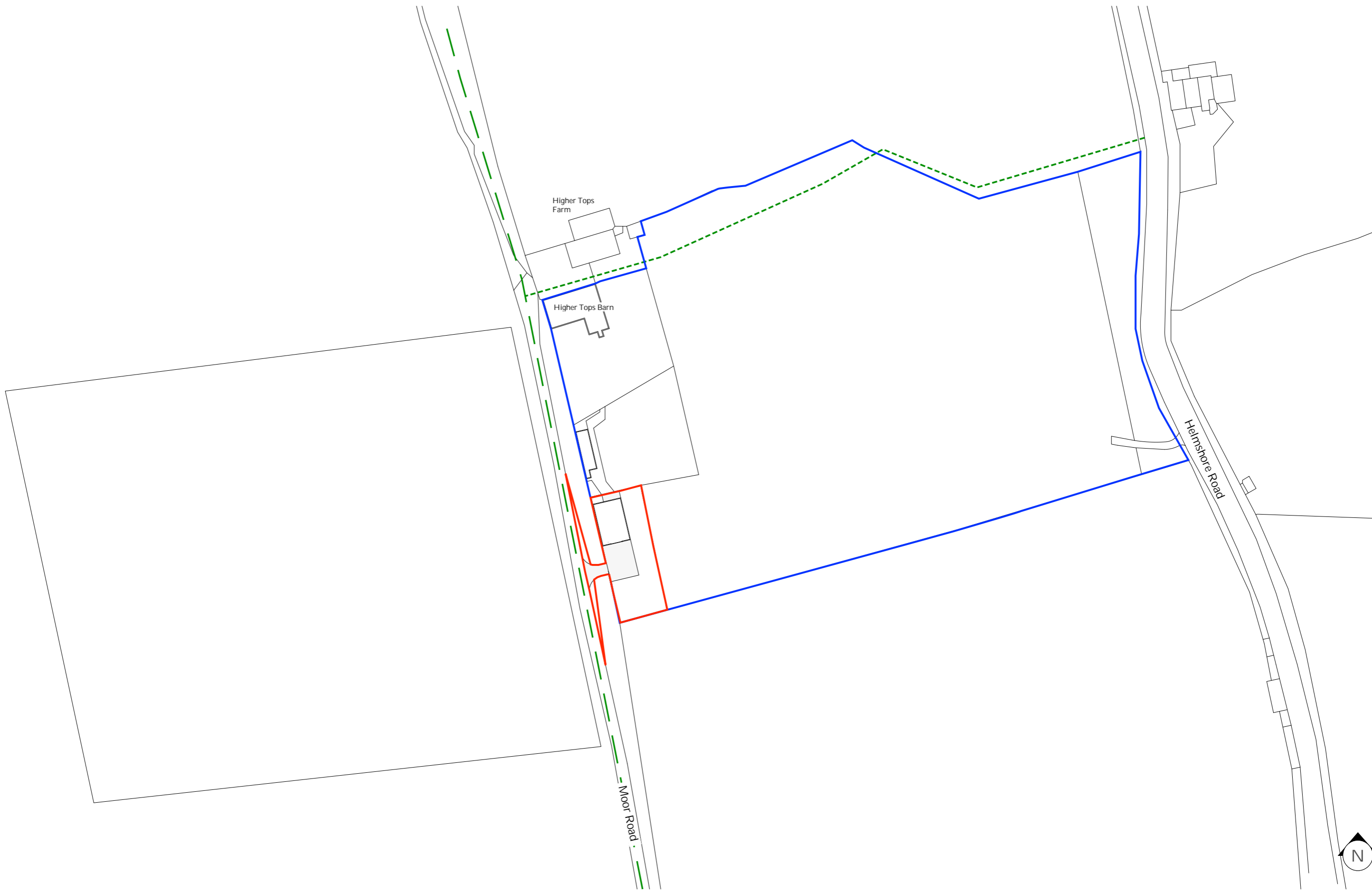


Photo 2



Photo 3





Location Plan

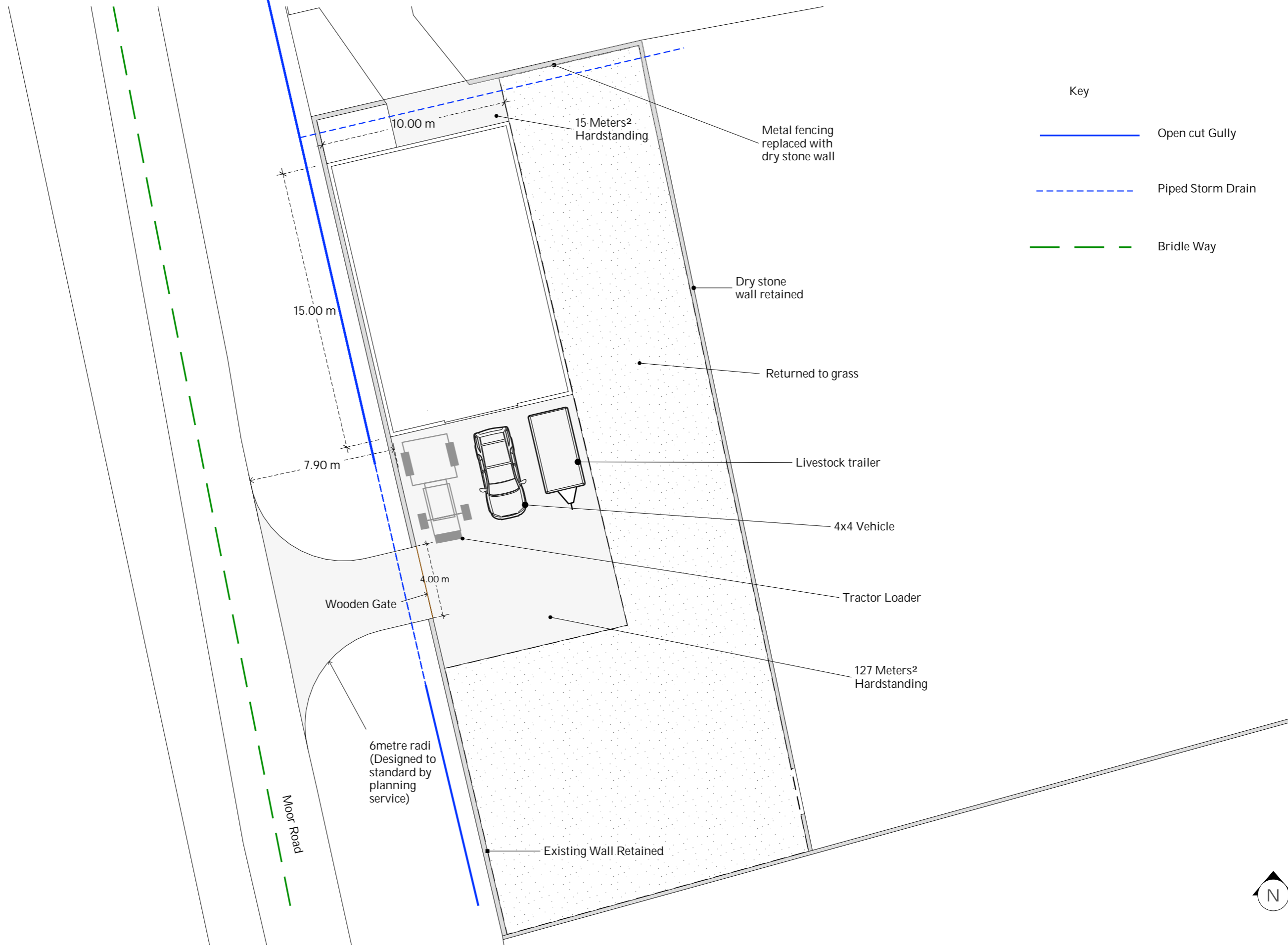
Drawn By: David Fryer  
 DF Rural Management  
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Higher Tops Barn - Agricultural Store & Yard, Moor Road, Ramsbottom

REVISIONS		
	MM/DD/YY	REMARKS
1	18/12/2014	Changed Red line Area Plan
2		
3		
4		
5		

BD RE-SP



Key

	Open cut Gully
	Piped Storm Drain
	Bridle Way

Detailed Master Plan (Re-seeded)

Drawn By: David Fryer  
 DF Rural Management  
 M - 07702 049584

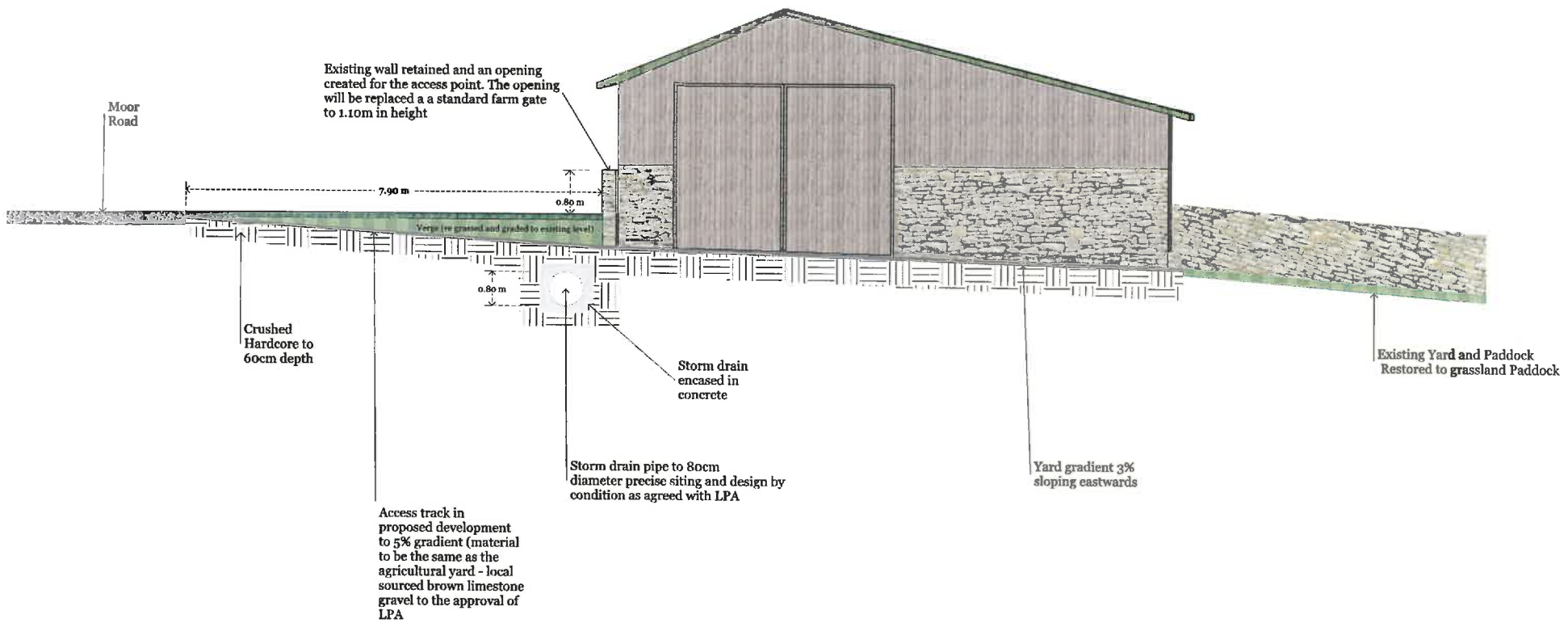
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Higher Tops Barn - Agricultural Store & Yard, Moor Road, Ramsbottom

REVISIONS		
	MM/DD/YY	REMARKS
1	18/12/2014	Changed Red line Area Plan
2		
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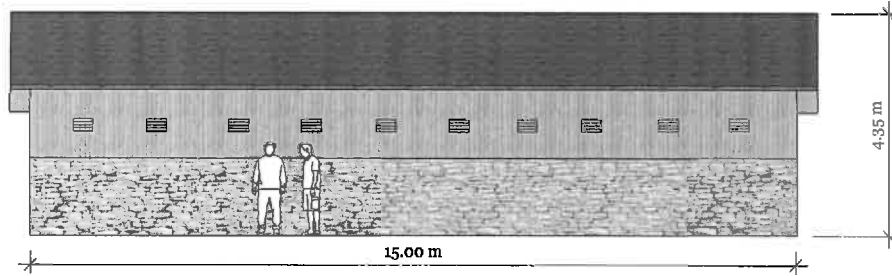
BD RE-SQ



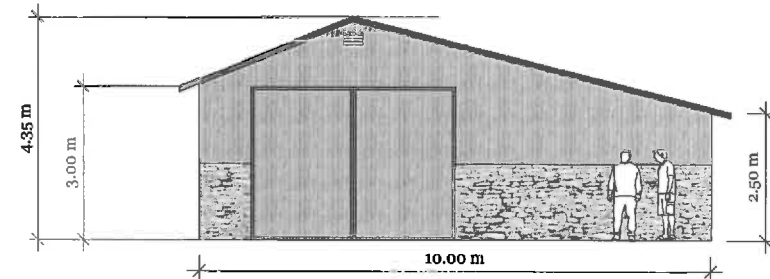
<b>Proposed Cross Sectional Drawing showing Access off Moor Road, existing wall and proposed Agricultural Store</b>	Drawn By: David Fryer DF Rural Management M - 07702 049584	Scale: 1: 75 @ A3    1:175mm @ A3	<b>REVISIONS</b>	
	<b>Higher Tops Barn - Agricultural Store &amp; Yard, Moor Road, Ramsbottom</b>		MM/DD/YY	REMARKS
	1	27 /08 /2014	Draft for Pre-Planning enquiry	
	2	29/09/2014	Draft for Pre-Planning enquiry reduced hardstanding area	
	3	14/10/2014	Re scale and detail added to planning officers written requirements	
	4	/ / /		
	5	/ / /		

BD 05

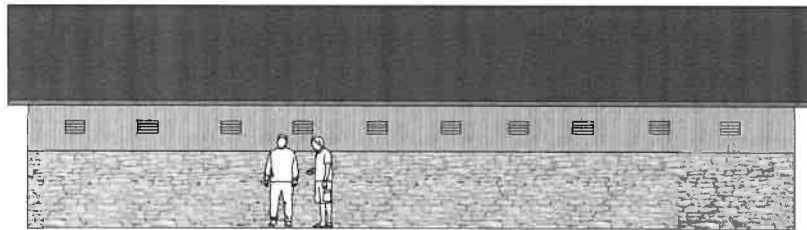
**East Elevation**



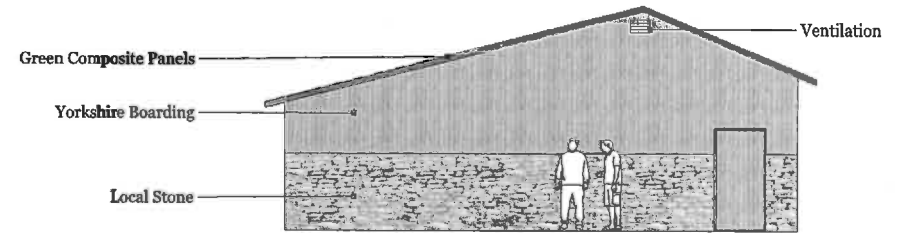
**South Elevation**



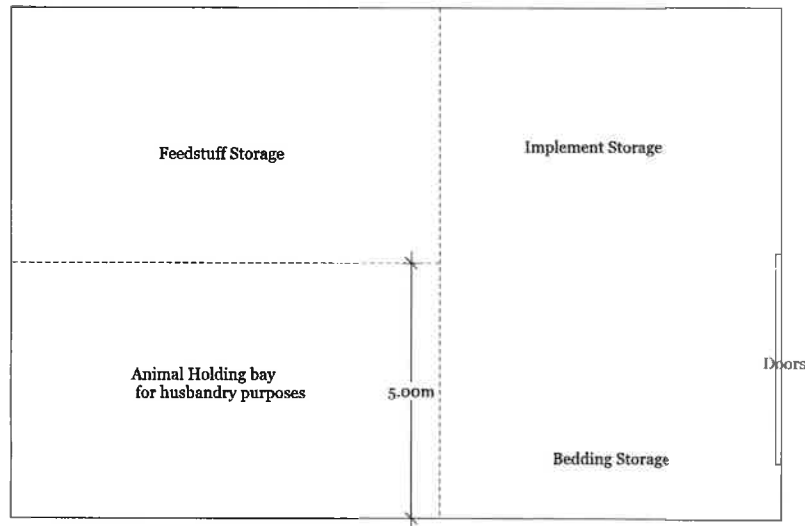
**West Elevation**



**North Elevation**



**Floor Plan**



**Agricultural Store (Elevations & Plan)**

Drawing by:  
DF Rural Management  
The Innovation Centre  
Daresbury  
Cheshire

Scale 1:100 @ A3



**Higher Tops Barn for Mr Brain Davies**

**REVISIONS**

MM/DD/YY	REMARKS
1 28/05/2014	Change to roof pitch on advice of Jennie Townsend Senior Planning Officer
2 28/10/2014	Annotation change
3 19/12/2014	Changes to length of building to suit master plan
4	
5	

**B 01**



**Ward:** Whitefield + Unsworth - Unsworth

Item 05

**Applicant:** Mercedes-Benz Retail Group UK Ltd

**Location:** Mercedes Benz, 845 Manchester Road, Bury, BL9 9TP

**Proposal:** Erection of 17 no. column mounted lights and 4 no. wall mounted lights in the dealership car park/display area, 27 no. wall mounted lights on the roof-top car park and provision of a low level wall and railings along the Manchester Road site frontage

**Application Ref:** 58184/Full

**Target Date:** 14/01/2015

**Recommendation:** Approve with Conditions

### **Description**

The site was last used for car sales with a hardstanding, which was used for car parking. There are two accesses onto the site, which are adjacent to Nos 837 and 853 Manchester Road respectively.

In October 2013, planning permission was granted for the demolition of the existing building and the erection of a new sales/after sales building, which would be used for a variety of uses including car sales, sales of parts/accessories, car valeting, car repair, MoT testing, storage, body repairs and car sales office. The existing southern entrance would be reconfigured and the northern entrance closed. Works have commenced on site and are ongoing.

The site is bounded by residential properties to the north, southwest and west and there is a synagogue to the south. There is open land to the east with residential properties beyond and Bury golf club is located to the north east.

The proposed development involves the provision of a low level wall and railings along the frontage to Manchester Road and external lighting on site:

- 17 column mounted lights (6 metres in height);
- 4 wall mounted lights in car park/display area
- 27 wall mounted lights in roof top car park.

The proposed wall would be constructed from a dark grey brick with stainless steel railings above. The height of the wall and railings would vary between 1.8 and 1.1 metres given the topography of the land.

### **Relevant Planning History**

56517 - Demolition of the existing garage building and the comprehensive redevelopment of the site to provide a new car dealership, with workshop for MOT testing, servicing, car part sales and other car-related activities including the construction of a new (4, 789 sqm) stand-alone sales and after-sales building and workshop, car parking and a reconfigured vehicular access/egress from the Manchester Road at 845 Manchester Road, Bury. Approved with conditions - 16 October 2014.

57100 - Non material amendment following grant of planning permission 56517 for amendments to the cladding of the exterior of the building at 845 Manchester Road, Bury. Approved - 6 February 2014.

57266 - Non-material amendment following grant of planning permission 56517 for Demolition of the existing garage building and the comprehensive redevelopment of the site to provide a new car dealership, with workshop for MOT testing, servicing, car part sales and other car-related activities including the construction of a new (4, 789 sqm) stand-alone

sales and after-sales building and workshop, car parking and a reconfigured vehicular access/egress from the Manchester Road:

1. Amendments to front elevation to remove front columns and simplify glazing
2. Reposition building to bring forward approx. 1M (west) and approx 1M left (north) at 845 Manchester Road, Bury. Approved - 24 February 2014.

57846 - 2 no. internally illuminated fascia signs, 3 no. internally illuminated free standing signs, 1 no. internally illuminated open star logo sign, 1 no. non illuminated free standing entrance sign and 3 no. non illuminated flag pole signs at 845 Manchester Road, Bury. Approved with conditions - 9 October 2014.

### **Publicity**

The neighbouring properties were notified by means of a letter on 21 November 2014.

2 letters have been received from the occupiers of 27 Ajax Drive and 10 Sandy Close, which have raised the following issues:

- The light pollution from 17 column mounted lights would be severe.
- The proposed building is higher than the previous building and the roof parapet is not high enough to obscure vehicles.
- Like to see a small upstand at the back side of the parapet. This would not be visible from the road but would obscure vehicles from Sandy Close.
- The previous car dealership switched off the lights at close of business and would like to see this happen again.

### **Consultations**

**Traffic Section** - No objections, subject to informatives relating to the boundary wall.

**Environmental Health - Pollution Control** - Comments awaited.

### **Unitary Development Plan and Policies**

EC6/1	New Business, Industrial and Commercial
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN1/7	Throughroutes and Gateways
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
S4/4	Car Showrooms, Car Sales Areas and Petrol Filling Stns
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Impact upon the surrounding area** - The proposed wall and railings would be located on the line of the existing railings along Manchester Road. The proposed brick wall would be constructed from a dark grey brick and as such, would not be a prominent feature in the streetscene.

The proposed lighting columns would be 6 metres in height and would be located on the frontage with Manchester Road and on the perimeter of the car parking areas to the west and east of the building. The proposed columns would be the same height as the street lighting columns and telegraph pole. The applicant has amended the plans to reduce the number of columns along the frontage by combining the cctv and lighting columns. Given the existing street furniture and street trees, the proposed development would not be a prominent feature within the streetscene.

27 of the proposed wall mounted lights would be located on the inside wall to the roof top car park. As such, these proposed lights would not be visible from the streetscene. A further 3 of the proposed wall mounted lights would be located on the proposed building and would be screened from view by the proposed fence and gate. Therefore, the proposed development would not have an adverse impact upon the streetscene and would be in accordance with Policies EN1/2 and EN1/7 of the Bury Unitary Development Plan.

**Impact upon residential amenity** - There are residential properties located to the north and south of the site and the residential properties to the west are at a higher level with mature trees on the boundary. The proposed development would use high power white LEDs and lux diagrams, which indicate the intensity and placement of the lighting have been submitted as part of the application. The lux diagrams indicate that the light spill for the proposed column mounted lights and the wall mounted lights would be contained within the site. The proposed column mounted lights are programmable to set time schedules, can be activated when the sensor detects movement and can be dimmed to suit local conditions to further reduce the impact upon the neighbouring properties. Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

#### **Response to objectors**

The issues of light spill and light pollution have been addressed above. The proposed lights would be set to a timer and a condition requiring them to be switched off out of business hours will be attached to any grant of planning permission.

#### **Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

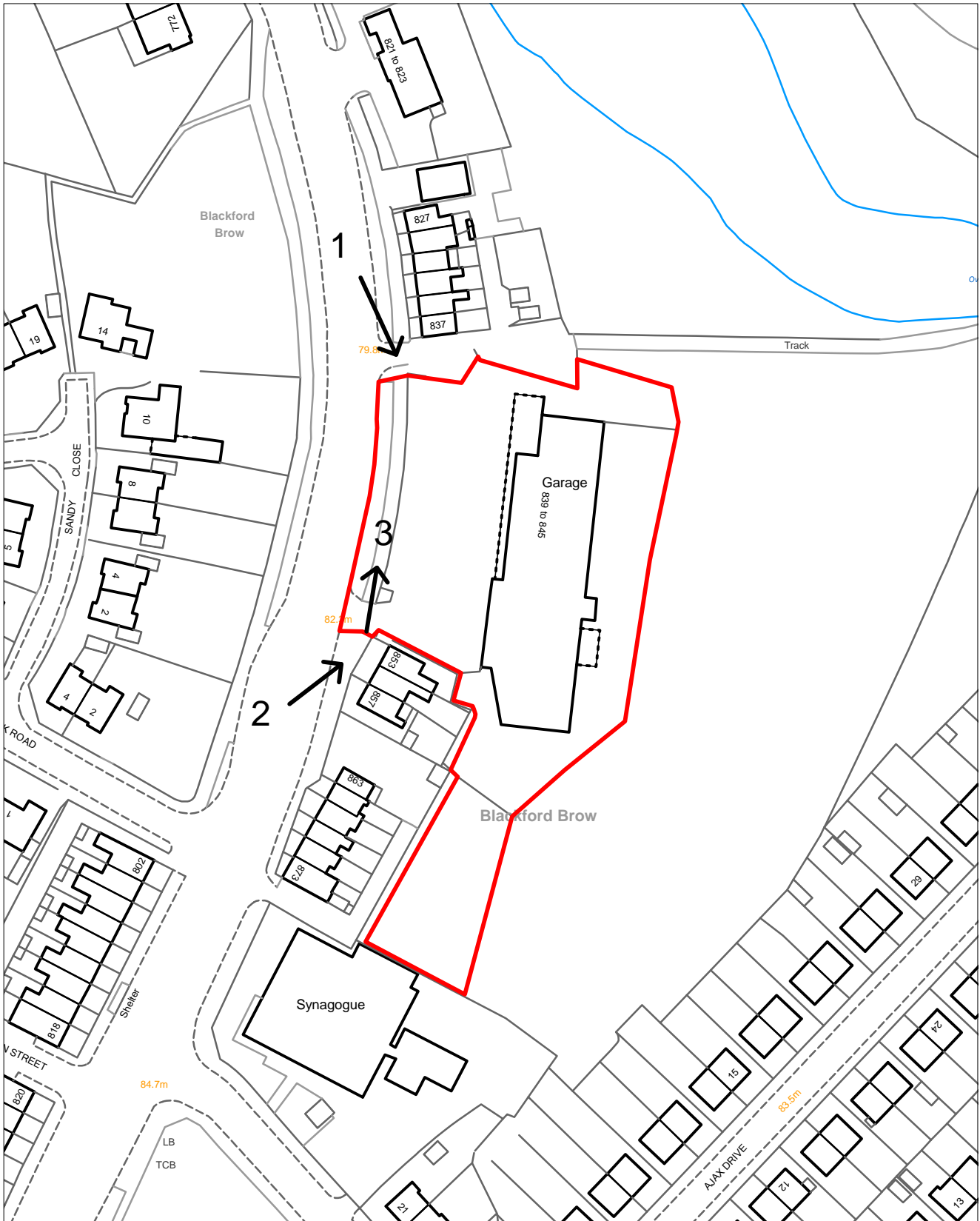
#### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings numbered 3273/00, 3273/C/021, 13.030/E/07, 3273/178D, 13.030/E/05, 3273/C/179A, 13.030 MB Whitefield\_External Lighting, 13.030 Riof Car Park Lighting, Thorlux lighting - Type AA, T2, S1 and Y and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The external lighting shall not be switched on outside the hours of 08.30 to 18.30 Monday to Friday, 08.00 to 17.00 Saturdays and 10.00 to 16.00 Sundays.  
Reason. In the interests of residential amenity pursuant to Policy S2/4 - Car Showrooms, Car Sales Areas and Petrol Filling Stations of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 58184**

**ADDRESS: 845 Manchester Road  
Bury**

**Planning, Environmental and Regulatory Services 1:1250**

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**Bury**  
COUNCIL

Photo 1

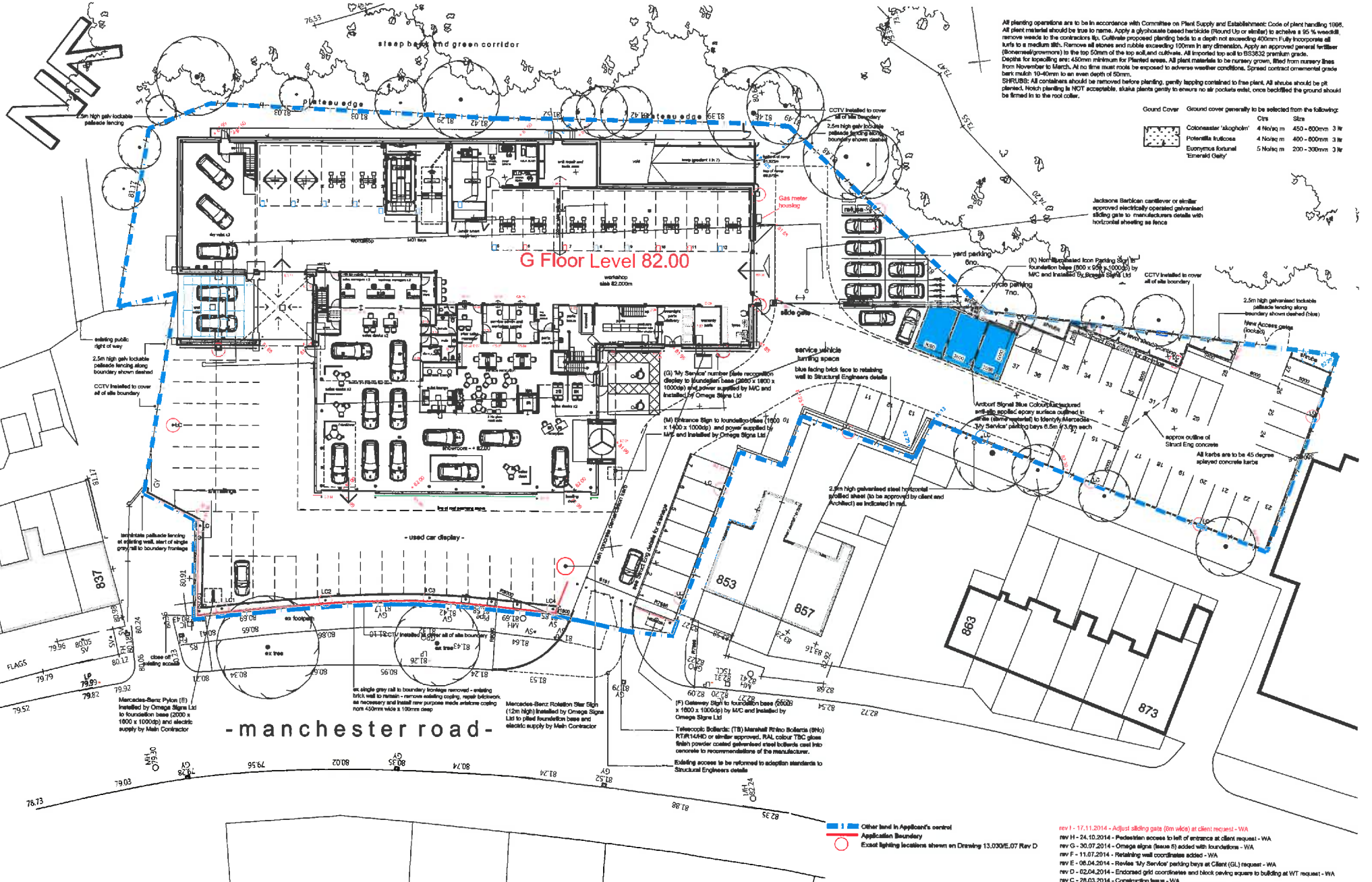


Photo 2






Photo 3





All planting operations are to be in accordance with Committee on Plant Supply and Establishment: Code of plant handling 1986. All plant material should be true to name. Apply a phosphate based fertiliser (Round Up or similar) to achieve a 90% weedkill. Remove weeds to the contractors tip. Cultivate proposed planting beds to a depth not exceeding 400mm. Fully incorporate all turfs to a medium 100mm. Remove all stones and rubble exceeding 100mm in any dimension. Apply an approved general fertiliser (Bonnamy/growmore) to the top 50mm of the top soil and culture. All imported top soil to BS3532 premium grade. Details for spreading are: 400mm minimum for Planted areas. All plant material to be nursery grown. Sited from nursery lines from November to March. All fine must roots be exposed to adverse weather conditions. Spread contract ornamental grass shrubs: 10-40mm in an even depth of 50mm. All containers should be removed before planting, gently leaching contained to free plant. All shrubs should be pit planted. Noch planting is NOT acceptable, stake plants gently in ensure no pockets exist, once backfilled the ground should be firm to the root collar.

Ground Cover	Ground cover generally to be selected from the following:	Ctrs	Size
	Colostephus 'algholm'	4 No/eq m	450 - 600mm 3 hr
	Festuca rubra	4 No/eq m	400 - 600mm 3 hr
	Eucalyptus 'natural Emerald Oakley'	5 No/eq m	200 - 300mm 3 hr


Jacksons Barbican cantilever or similar approved electrically operated galvanneal sliding gate to manufacturer details with horizontal slatting as fence

GENERAL NOTES  
 1. THE DRAWING IS SUBJECT TO CORRECTION AND IS NOT TO BE REPRODUCED IN PART OR IN WHOLE WITHOUT APPROVAL.  
 2. DO NOT SCALE THE DRAWING

Concrete for the external works foundations to Structural Engineers specification.  
 All new drainage and manholes etc are to be installed and tested in accordance with Structural Engineers specification.  
 CCTV to be installed covering all boundaries of site to specialist engineers details.  
 Hoops: Marshall Rhino hoop barriers R875HD or similar approved. Set 800mm above finished ground level. RAL 9006 (silver) glass finish powder coated galvanized steel bollards cast into concrete to recommendations of the manufacturer.  
 Hoops: Marshall Rhino hoop barriers R875HD or similar approved. Set 800mm above finished ground level. RAL 9006 (silver) glass finish powder coated galvanized steel hoops 1500mm non cast into concrete to recommendations of the manufacturer.

Stainless Marshall Rhino Stainless Steel Bollards RH 110 or similar approved. Set 900mm above finished ground level cast into concrete to recommendations of the manufacturer.

**Construction Issue**


**Mercedes-Benz**  
 PROJECT: Mercedes-Benz Whitefield  
 Manchester Road, Bury BL9 9TP  
 DRAWING NUMBER: 3273/C/021  
 SCALE: 1:200 @ A1  
 DATE: October 2013  
 DRAWN BY: w. shecroft  
 PROPOSED SITE PLAN REV A  
 11 Newbury Business Village, Navigation Way, Preston, PR2 2YR  
 01772 729606 01772 729487 info@fletcher-smith.com







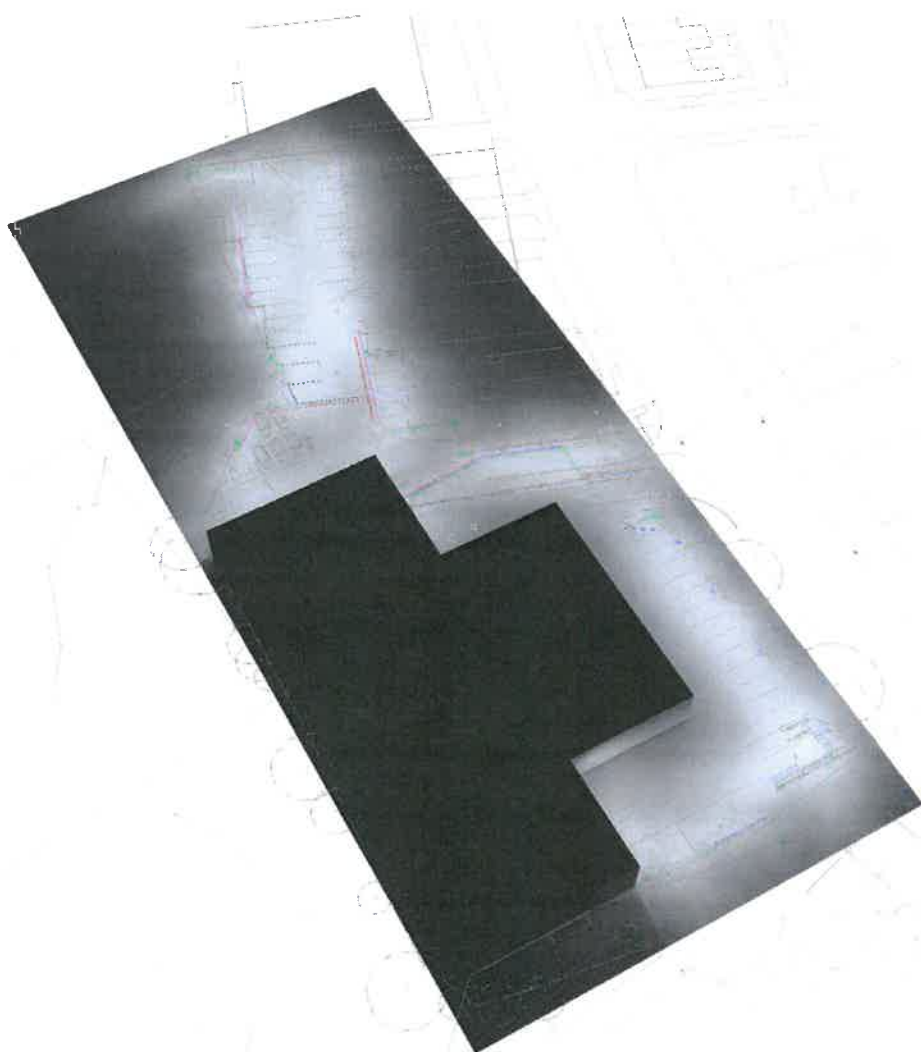
D&d Building Services Consulting Engineers Ltd

Kegworth House, 28 Market Place, Kegworth  
Derby, DE74 2EE

Operator Arkadiusz Gliszczynski  
Telephone 01509 670100  
Fax 01509 670110  
e-Mail [arkadiusz.gliszczynski@ddconsultingengineers.co.uk](mailto:arkadiusz.gliszczynski@ddconsultingengineers.co.uk)

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### Car Park lighting 141113 / 3D Rendering



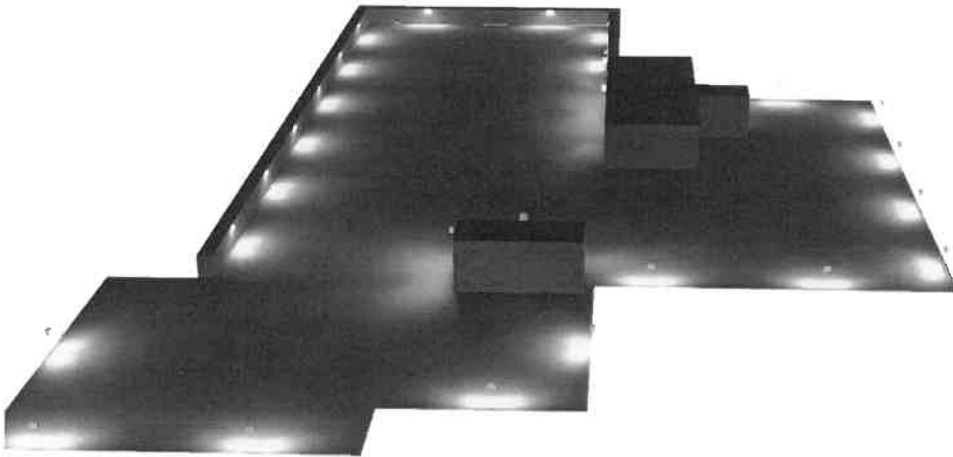
D&d Building Services Consulting Engineers Ltd  
Kegworth House, 28 Market Place, Kegworth  
Derby, DE74 2EE

Operator Arkadiusz Gliszczynski  
Telephone 01509 670100  
Fax 01509 670110  
e-Mail [arkadiusz.gliszczynski@ddconsultingengineers.co.uk](mailto:arkadiusz.gliszczynski@ddconsultingengineers.co.uk)

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**roof car park lighting passlight & realta / 3D Rendering**

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**Ward:** Whitefield + Unsworth - Unsworth

Item 06

**Applicant:** Mr Paul Grimshaw

**Location:** 51 Heathfield Road, Bury, BL9 8HB

**Proposal:** Single storey extension at side

**Application Ref:** 58252/Full

**Target Date:** 09/02/2015

**Recommendation:** Approve with Conditions

**This application is being presented to the Planning Control Committee for determination as it is for alterations to the home of a Councillor and as such has to be determined by the PCC in accordance with the Councils scheme of delegation.**

### **Description**

Site comprises a semi-detached property, with similar properties either side and on the opposite side of the road.

The rear boundary is formed by the playing fields for Elms Bank School.

There is a 1.8m high fence between the proposed extension and the neighbours property.

The proposal is for a single storey extension on the south side of the property which also connects to the existing rear extension. The existing rear extension will have an amendment to the roof which will make the gable higher than existing.

Materials proposed are to match the existing property, namely red brick and grey concrete tile.

### **Relevant Planning History**

None.

### **Publicity**

Immediate neighbours at 49, 53 and 58 Heathfield Road and Elms Bank High School were written to on the 15th December 2014 and no comments have been received.

### **Consultations**

None required.

### **Unitary Development Plan and Policies**

H2/3 Extensions and Alterations

SPD6 Supplementary Planning Document 6: Alterations & Extensions

HT2/4 Car Parking and New Development

NPPF National Planning Policy Framework

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be

specifically mentioned.

**Visual Amenity** - The design of the extension is simple with materials to match the existing property and a pitched roof. As such when viewed from the street or the neighbours properties will not appear out of place and will accord with both UDP Policy H2/3 and Supplementary Planning Document 6.

**Residential Amenity** - The proposed extension is close to the boundary with the detached neighbour, but not so close as to give a feeling of enclosure that would be unacceptable in amenity terms. However, it includes a secondary window to a habitable room in this elevation and this could impact on the residential amenity of the neighbour. However, given that there is a 1.8m high fence between the proposed extension and the window on the side elevation of the neighbour, it is not considered that this would be so great as to warrant either this window being obscure glazed, or refused.

The extension would mean that the roof on the rear extension would have to increase in height by 0.2m. Given that this is on the south side of the attached neighbour it may impact on light. However, given that the ridge is located over 4m from the boundary, it is not considered that this would be so great as to be severely detrimental to their amenity and as such this is acceptable and accords with both UDP Policy H2/3 and Supplementary Planning Document 6.

**Parking** - The proposed side extension is flush with the front of the property and this will restrict the ability to park cars on the site as it will leave a driveway of only an average of a 4.75m driveway, as opposed to the minimum standard of 5m in Supplementary Planning Document 6 Alterations and Extensions to Residential Properties. However, a revised layout plan has been produced showing how a car can be parked on the site, clear of the highway. This arrangement is acceptable and accords with both UDP Policy H2/3 and Supplementary Planning Document 6 and HT2/4 - Parking and new development.

### **Statement in accordance with Article 31 Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2012**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

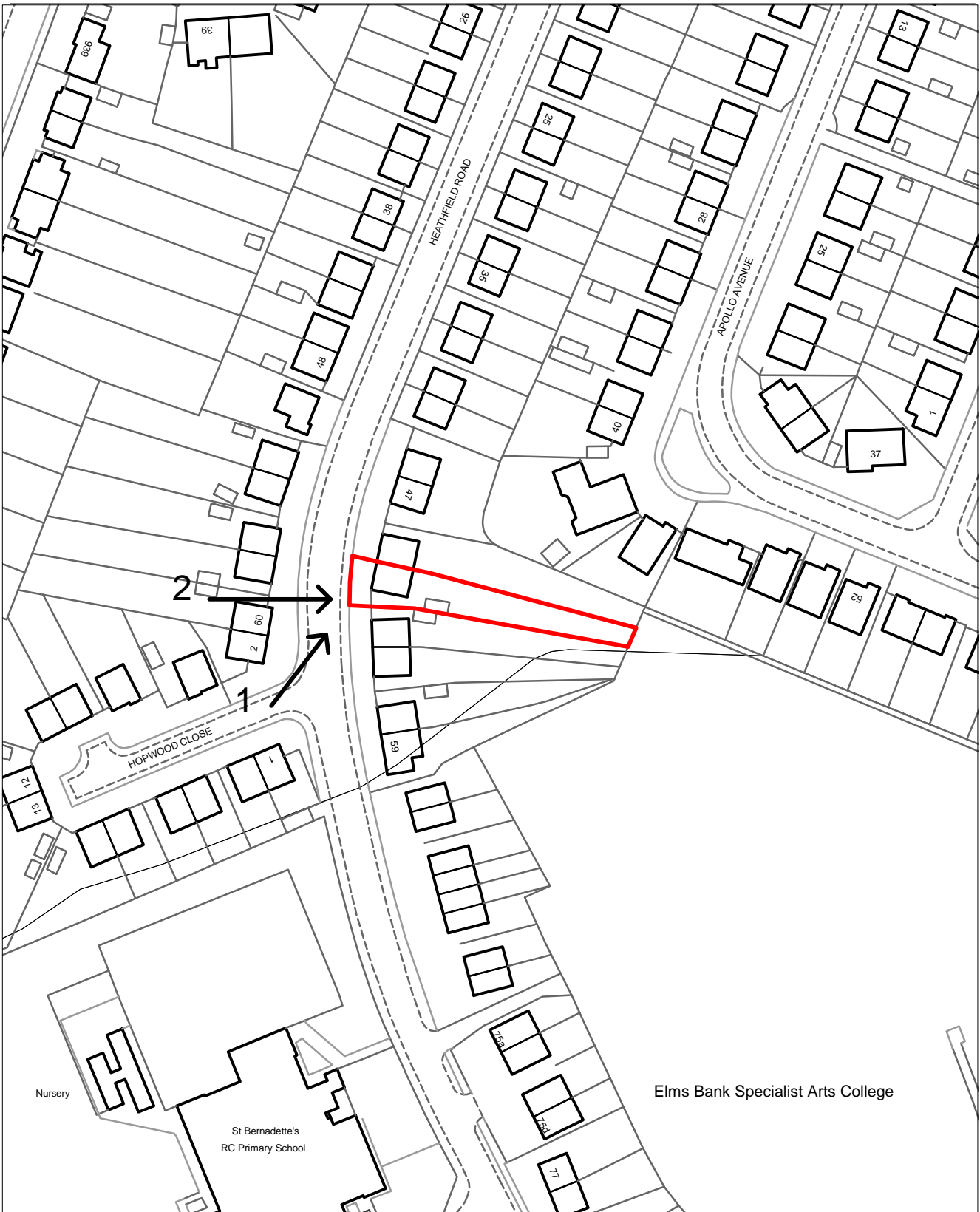
**Recommendation:** Approve with Conditions

#### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to the drawings received on 5th December 2014 and the ..... and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

For further information on the application please contact **John Cummins** on **0161 253 6089**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 58252**

**ADDRESS: 51 Heathfield Road  
Bury**



**Planning, Environmental and Regulatory Services 1:1250**

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Photo 1



Photo 2



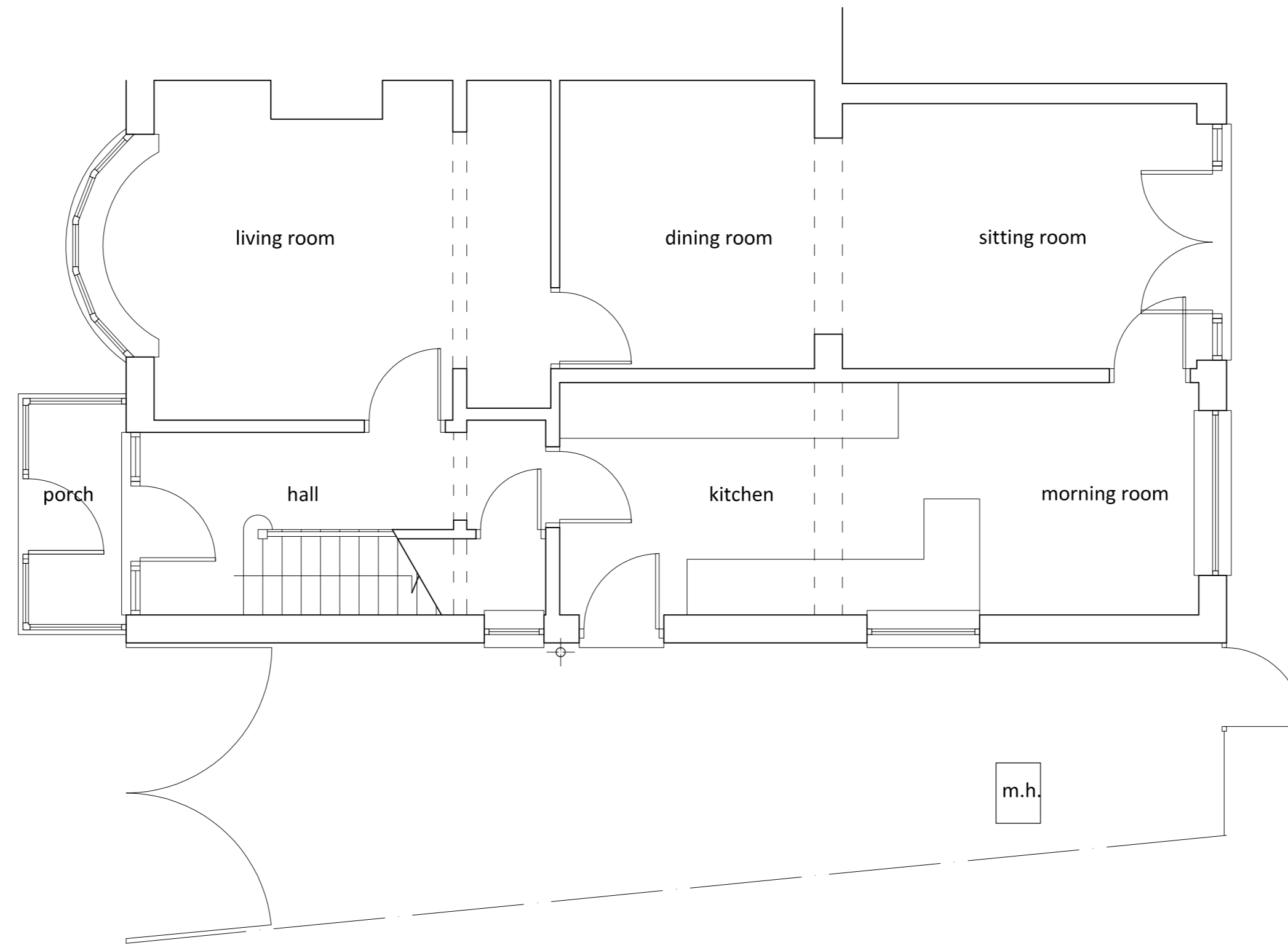


PROPOSED EXTENSION:  
51 HEATHFIELD DRIVE, SUNNYBANK, BURY

Mr & Mrs GRIMSHAW

NOVEMBER 2014

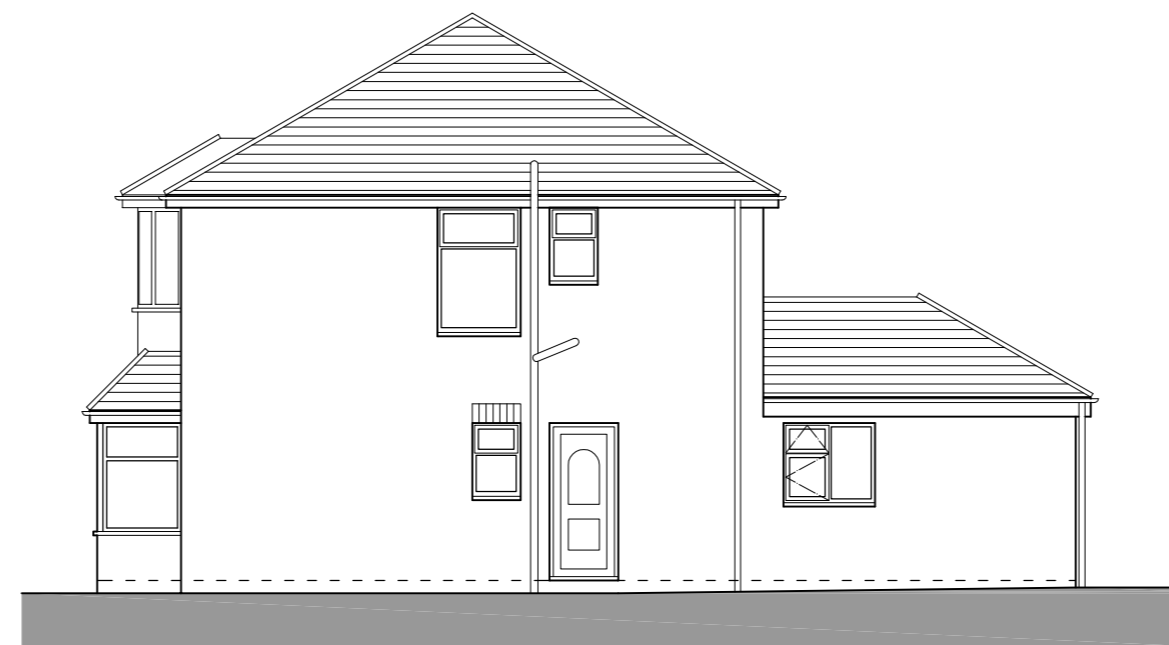
**EXISTING FLOOR LAYOUT & ELEVATIONS**



ground floor plan  
1:50 @ A2



front elevation  
to Heathfield Drive  
1:100 @ A2



gable elevation  
1:100 @ A2



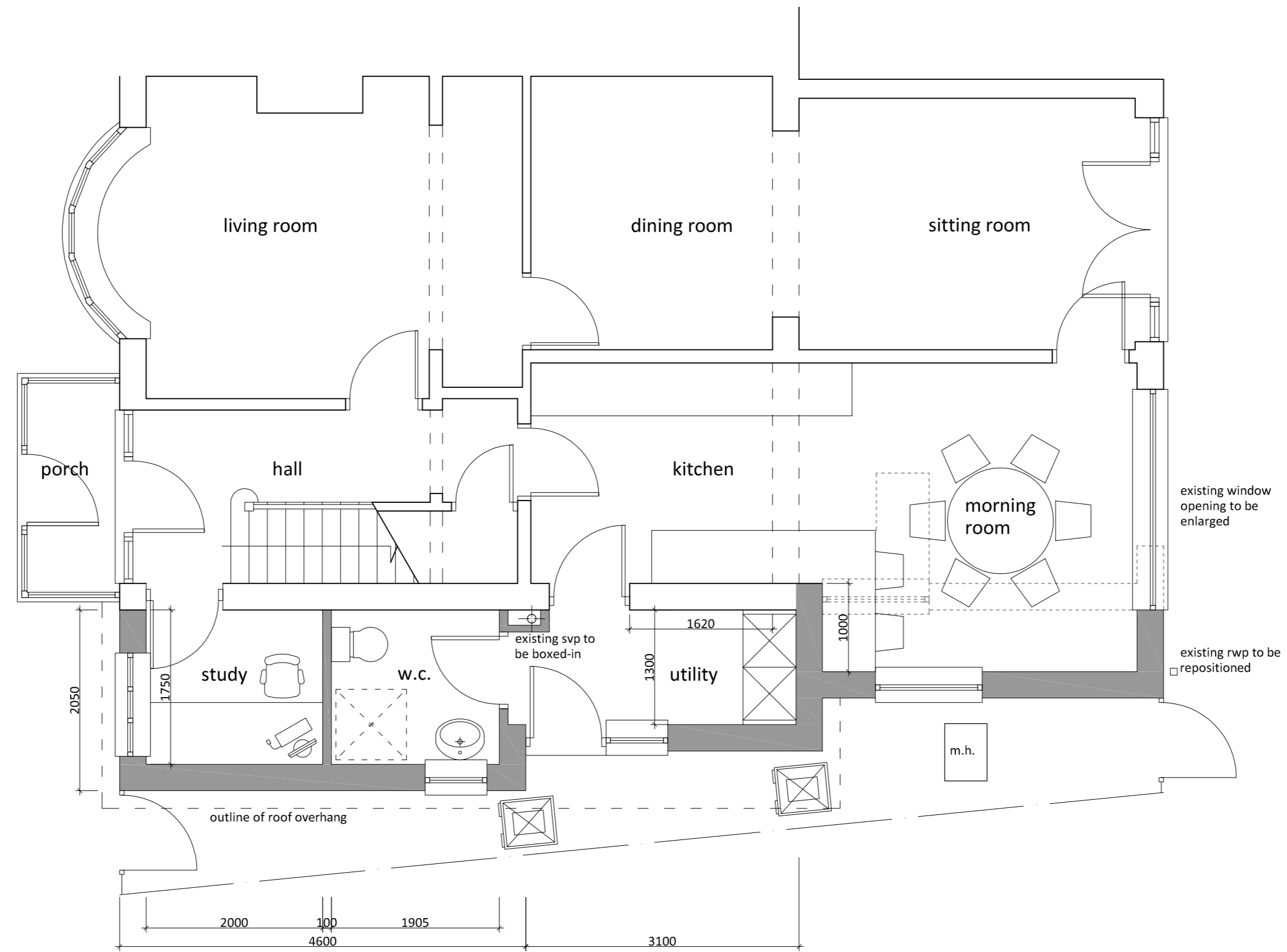
rear elevation  
1:100 @ A2

PROPOSED EXTENSION:  
51 HEATHFIELD ROAD, SUNNYBANK, BURY

Mr & Mrs GRIMSHAW

NOVEMBER 2014

PROPOSED FLOOR LAYOUT & ELEVATIONS



ground floor plan  
1:50 @ A2



front elevation  
to Heathfield Road  
1:100 @ A2



gable elevation  
1:100 @ A2



rear elevation  
1:100 @ A2